



HQ Residences

MAPLE & NORTHWEST
HIGHWAY



HARLEM IRVING
COMPANIES



HAMILTON
PARTNERS

PRESENTATION FOR PLANNING & ZONING
UPDATE ISSUED: AUGUST 26, 2021



SITE & CONTEXT



OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661

HAMILTON PARTNERS



T2 CAPITAL MANAGEMENT™

MOUNT PROSPECT - HQ RESIDENCES

100 - 112 E NORTHWEST HWY
August 26, 2021 Project #: 21064

SITE PLAN / GROUND FLOOR PLAN

ZONING DATA	DEVELOPMENT SUMMARY
DISTRICT: B-5C	GROSS BUILDING AREA: 130,578 SF
A. PROPOSED: 88 UNITS	RESIDENTIAL:
B. SETBACKS: NO SETBACKS REQUIRED	RESIDENTIAL (NSF): 74,200 SF
C. MAXIMUM HEIGHT: 80' PROPOSED HEIGHT:	LOWER LEVEL:
D. OPEN SPACE: NO REQUIREMENT	GSF: +/-31,230 SF
PARKING REQUIREMENTS:	PARKING: +/-25,650 SF
RESIDENTIAL:	EXIST. INT. SPACE: +/-7,480 SF
120 SPACES REQUIRED: 1.36 / UNIT	LEVEL 1:
120 SPACE PROVIDED	GSF: 17,958 SF
43 SPACES AT GRADE	RETAIL: 3,500 SF
66 SPACES AT LOWER LEVEL	LOBBY/AMENITY: 2,910 SF
11 GARAGE SPACES	UNITS (NSF): 6,836 SF
RETAIL:	LEVEL 2:
6 DIAGONAL SPACES +	GSF: 13,858 SF
ADJACENT COMMUTER LOTS	UNITS (NSF): 8,560 SF
ACCESSIBLE PARKING:	AMENITY: 1,714 SF
REQUIRED: 5 SPACES	LEVEL 3-5:
PROVIDED: 5 SPACES	GSF: 16,947 SF
	UNITS (NSF): 14,765 SF
	LEVEL 6:
	GSF: 16,691 SF
	UNITS (NSF): 14,509 SF

UNIT MATRIX				
	ST.	1B	2B	3B
LEVEL 1	0	0	0	6
LEVEL 2	1	5	0	0
LEVEL 3	2	14	3	0
LEVEL 4	2	14	3	0
LEVEL 5	2	14	3	0
LEVEL 6	2	15	2	0
TOTAL	9	62	11	6



LEVEL 1
SCALE: 1" = 40'-0"



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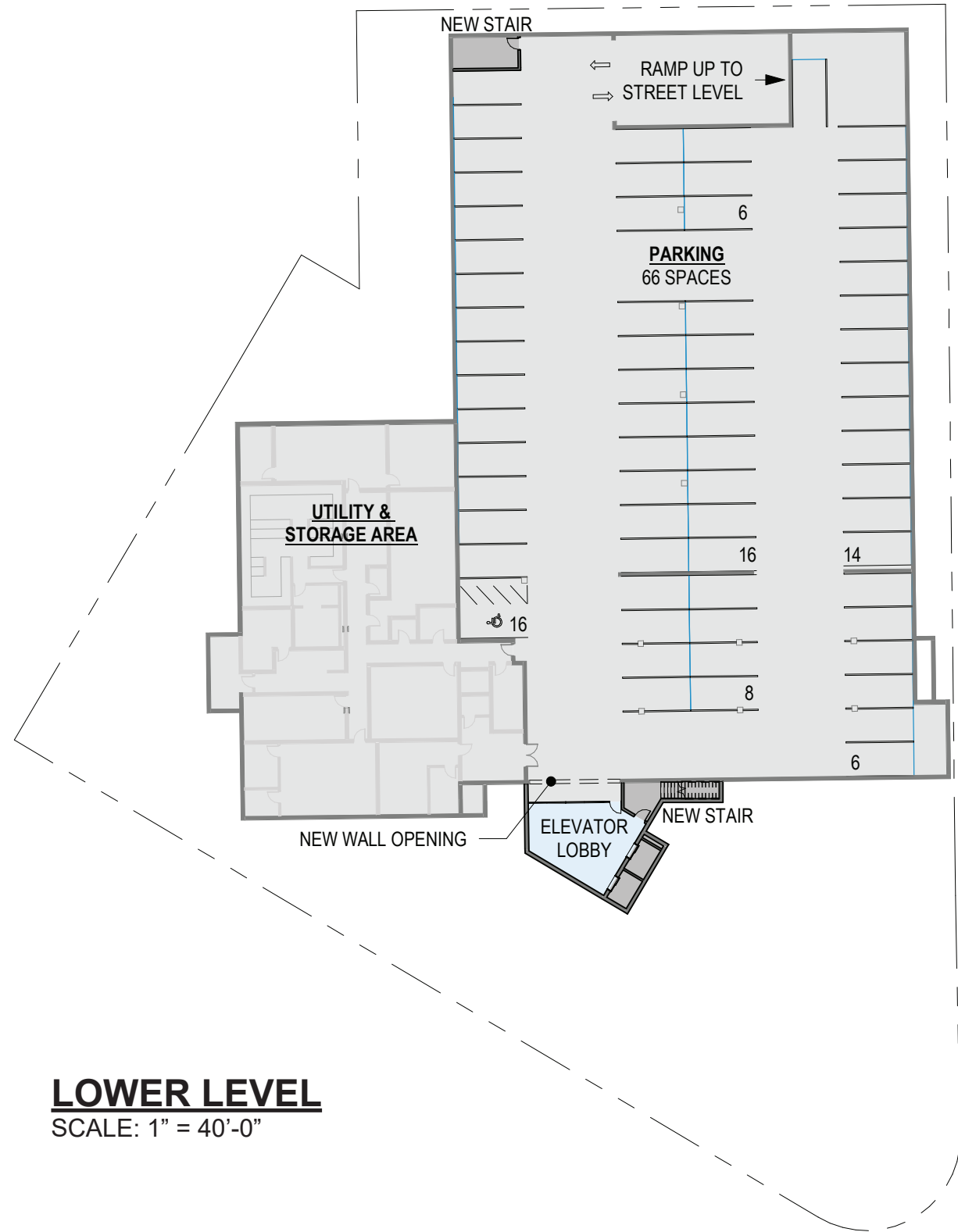


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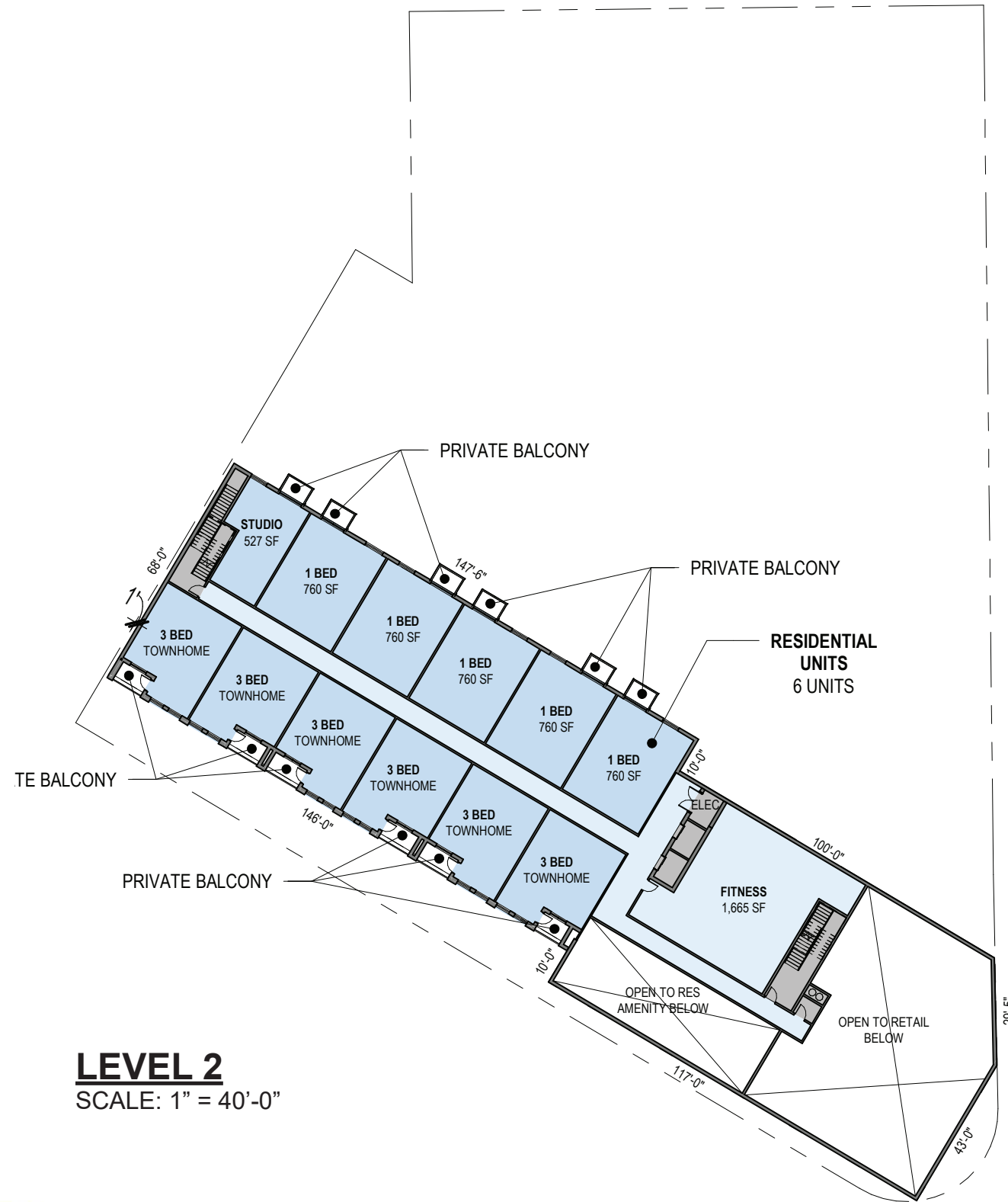
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FLOOR PLANS



LOWER LEVEL
SCALE: 1" = 40'-0"



LEVEL 2
SCALE: 1" = 40'-0"



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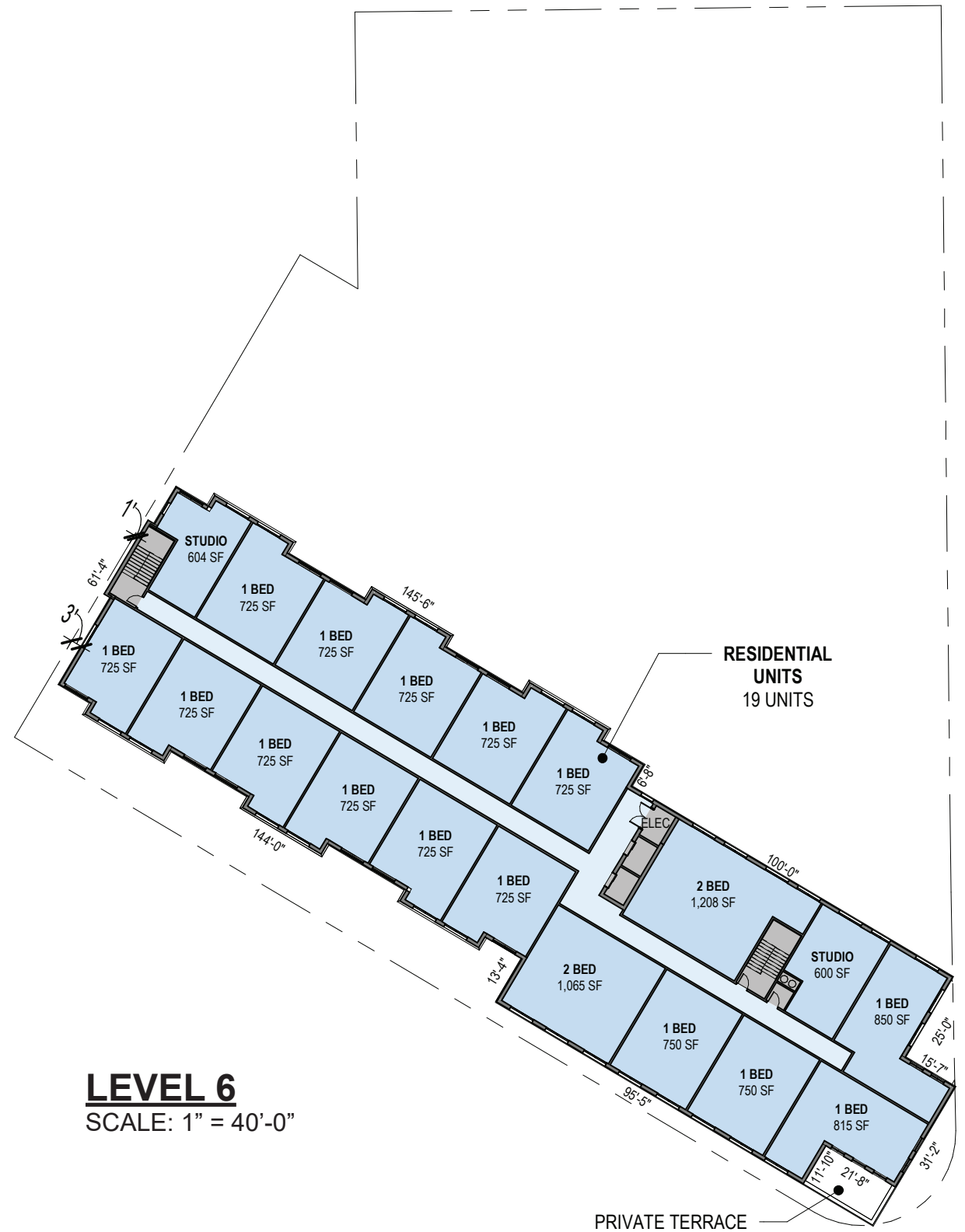
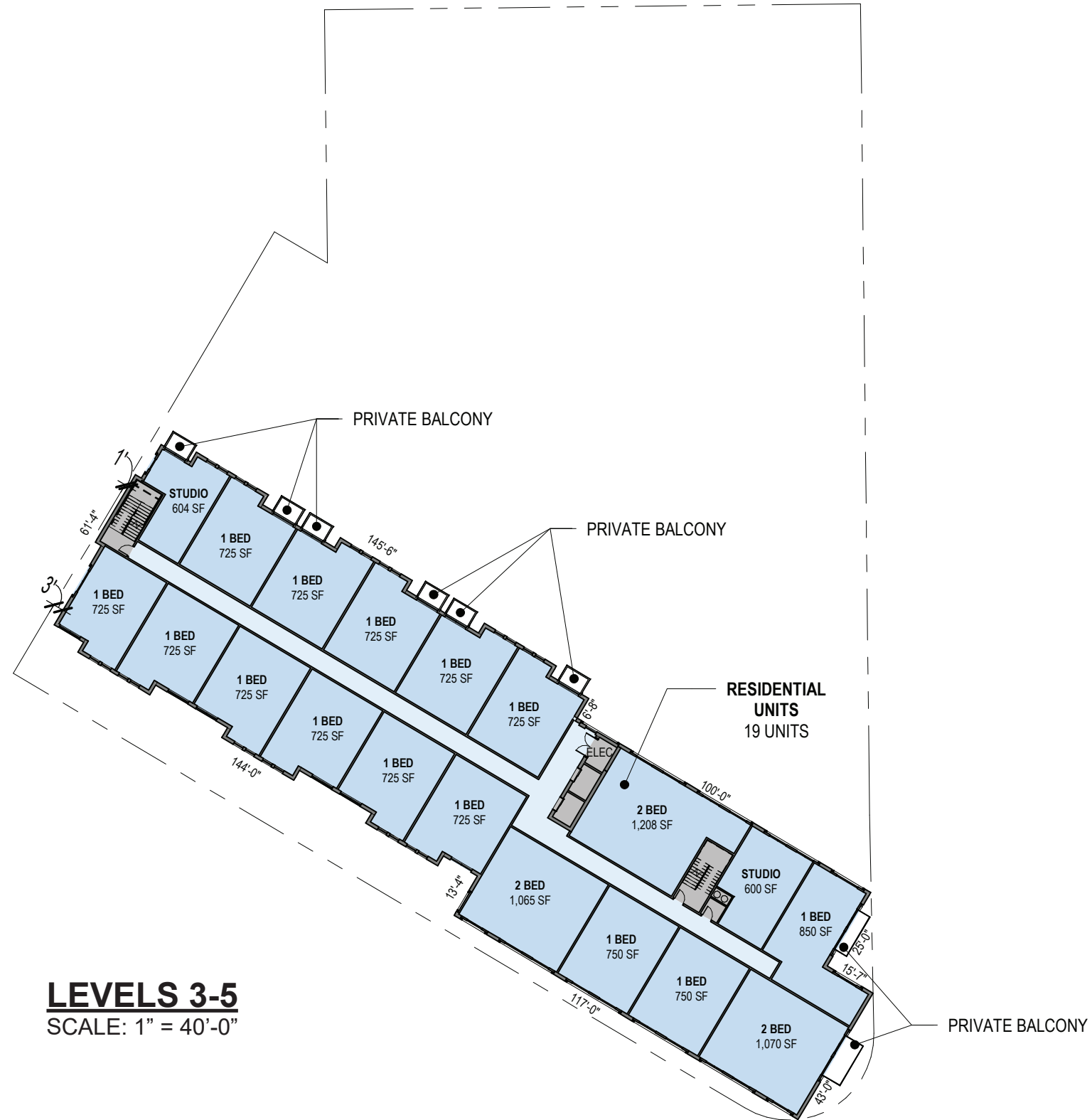


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MOUNT PROSPECT - HQ RESIDENCES

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FLOOR PLANS



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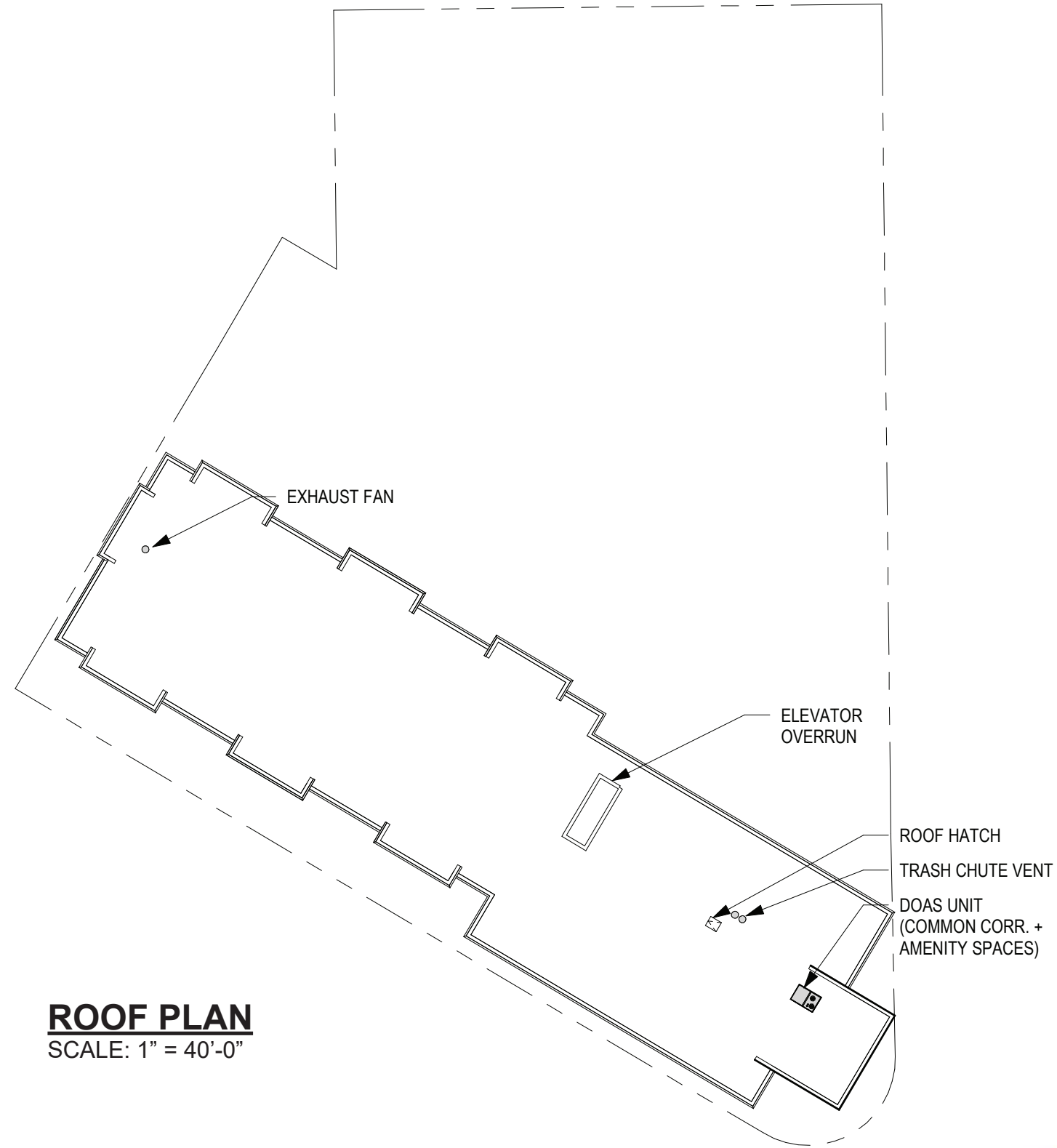


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ROOF PLAN



ROOF PLAN
SCALE: 1" = 40'-0"



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HQ RESIDENCES 21064
 MAPLE & NW HIGHWAY
 MT PROSPECT IL

PRIVATE MULTI-FAMILY RESIDENTIAL DEVELOPMENT - NEW BUILDINGS AND ASSOCIATED SITE WORK.

APPLICABLE CODES: 2015 IBC, 2015 IRC, 2018 IECC, 2015 MECHANICAL CODE, 2014 NEC, 2014 ILLINOIS STATE PLUMBING CODE, NFPA, 2018 ILLINOIS ACCESSIBILITY CODE, LOCAL AMENDMENTS.

- | | | | | | | | | | | | | | |
|---|---|---|--|--|---|---|--|--|---|--|---|---|--|
| <p>1. OCCUPANCY AND CONSTRUCTION TYPES (CONSIDERED SEPARATE BUILDINGS PER 510.2):
 S-2 PARKING GARAGE - LOWER LEVEL: 1A (EXISTING)
 R-2 RESIDENTIAL - FLOORS 1-2: 1A
 B - RETAIL TENANT - FIRST FLOOR: 1A
 R-2 RESIDENTIAL - FLOORS 3-6: 5A</p> | <p>3. SPRINKLER, FIRE ALARM, SMOKE ALARM REQ'D BY SECTION 420 PROPOSED: AS REQUIRED</p> | <p>4. EXISTING ENCLOSED PARKING GARAGE (UNDERGROUND):
 SECTION 406.6
 CLEAR HEIGHT REQUIRED: 7'-0" PROPOSED: 9'-8" CLEAR (EXISTING)</p> | <p>5. MAX AREA S-2 PARKING GARAGE 506.2 S1 = UNLIMITED
 MAX AREA R-2 (LEVEL 1-2), TABLE 506.2 SM = UNLIMITED
 MAX AREA R-2 (LEVEL 3-6), TABLE 506.2 SM = 36,000 SF
 MAX AREA B, TABLE 506.2, SM = UNLIMITED
 PROPOSED: +/- 25,650 SF (EXISTING)
 PROPOSED: 12,099 (LEVEL 1) / 10,532 SF (LEVEL 2)
 PROPOSED: 14,800 SF (LEVEL 3 - 5) / 14,443 SF (LEVEL 6)
 PROPOSED: 3,500 SF</p> | <p>6. MAX HEIGHT S-2 (PARKING GARAGE)(TYPE 1A)
 TABLE 504.3: UNLIMITED
 TABLE 504.2: UNLIMITED
 PROPOSED: EXISTING, SPRINKLERED, BELOW GRADE GARAGE
 PROPOSED: EXISTING, SPRINKLERED, BELOW GRADE GARAGE</p> <p>MAX HEIGHT R-2 (RESIDENTIAL FLOORS 1-2)(TYPE 1A)
 TABLE 504.3: UNLIMITED
 TABLE 504.4: UNLIMITED
 PROPOSED: +/- 24' - 10"
 PROPOSED: 2 STORIES (2-STORY PODIUM)</p> <p>MAX HEIGHT R-2 (RESIDENTIAL FLOORS 3-6)(TYPE 5A)
 TABLE 504.3: 70'
 PROPOSED: 68'-9" (T/ROOF SURFACE INCLUDING 2 STORY PODIUM)
 (HEIGHT LIMITED BY FEET, NOT STORIES, PER 510.2.6)
 PROPOSED: 4 STORIES.
 (4 STORIES MEASURED FROM HORIZONTAL SEPERATION)</p> <p>TABLE 504.4: (4) STORIES</p> <p>MAX HEIGHT B (RETAIL) (TYPE 1A)
 TABLE 504.3: UNLIMITED
 TABLE 504.4: UNLIMITED
 PROPOSED: +/- 24' - 10"
 PROPOSED: 2 STORIES (2-STORY PODIUM)</p> | <p>7. TABLE 601
 PRIMARY STRUCTURAL FRAME TYPE 1A* TYPE 5A*
 3 (PRECAST) 1
 EXTERIOR BEARING WALLS 3 (U904) 1 (UL U356 / U330)
 INTERIOR BEARING WALLS 3 (U904) 1 (UL U305)
 EXTERIOR NON-BEARING <5' (FSD) 1 (U904 / U408) 1 (UL U356 / U330)
 EXTERIOR NON-BEARING >5,<10', (FSD) 1 (U904 / U408) 1 (UL U356 / U330)
 EXTERIOR NON-BEARING >10',<30 (FSD) 1 (U904 / U408) 1 (UL U356 / U330)
 EXTERIOR NON-BEARING >30' (FSD) 0 0
 INTERIOR NON-BEARING 0 0
 FLOOR CONSTRUCTION 2 (J912) 1 (UL L521 / L501)
 ROOF CONSTRUCTION 1.5 1 (P522)</p> | <p>8. SEPARATIONS:
 1 HOUR SEPERATION REQUIRED BETWEEN (RETAIL TENANT (B) AND RESIDENTIAL OCCUPANCY (R-2)) PER TABLE 508.4
 SECTION 510.2 :REQ'D 3 HOUR HORIZ. RATING BETWEEN BUILDINGS. PROPOSED: 3 HR
 TABLE 509
 TRASH COLLECTION OVER 100 SF 1 HR PROPOSED 1 HR
 FIRE PUMP 1 HR WITH SPRINKLERS IN ENTIRE BLDG. PROPOSED 1 HR</p> | <p>9. STAIRS:
 ALL STAIRS TO BE ENCLOSED IN 2 HOUR RATED ENCLOSURE 510.2.3 (EXCEPTION NOT APPLICABLE).
 RATING REQUIRED: 2 HR PROPOSED: 2 HR
 DISTANCE BETWEEN HANDRAILS REQUIRED 1009.3 EXCEPTION 2, IAC 506.7.4
 REQUIRED WIDTH BETWEEN HANDRAILS: 44" PROPOSED: 44"
 MT PROSPECT ORD 6303: SMOKE HATCH REQUIRED @ ALL STAIRS PROPOSED: SMOKE HATCH
 MT PROSPECT ORD, 6303: ROOF LADDER REQUIRED @ ALL STAIRS PROPOSED: ROOF LADDER PROVIDED</p> | <p>10. ELEVATOR
 ELEVATORS TO BE ENCLOSED IN SHAFT RATED NOT LESS THAN FLOOR PENETRATED 713.4 (NEED NOT EXCEED 2
 HOURS)
 RATING REQUIRED: 2 HR PROPOSED: 2HR
 ENCLOSED ELEVATOR LOBBY NOT REQUIRED 3006.1 PROPOSED: OPEN ELEVATOR LOBBY
 ELEVATOR SIZE: 1 STRETCHER COMPLIANT 3002.4 PROPOSED :MIN 1 STRETCHER ELEVATOR</p> | <p>11. CORRIDORS 1020 TABLE 1020.1
 OCCUPANCY R: 30 MINS RATING PROVIDED: 1HR
 CORRIDOR WALL FIRE RATING 1024.3: 1 HR RATING PROVIDED: 1 HR
 CORRIDOR MINIMUM WIDTH 1020.2 : 3'-8" WIDTH PROVIDED: 5'-0".
 CORRIDOR, DEAD END 1020.4 EXCEPTION 2. MAX 50' PROPOSED: +/- 31' MAX</p> | <p>12. UNIT DEMISING WALL RATING 708.3 REQUIRED RATING 1 HR PROPOSED: 1 HR</p> | <p>13. FLOOR CEILING ASSEMBLY BETWEEN DWELLING UNITS SECTION 420, 711.2.4.3:
 REQUIRED RATING: 1 HR PROPOSED: 1 HR.</p> | <p>14. SHAFTS (510.2.3):
 REQUIRED: 2 HR PROPOSED 2 HR.</p> | <p>15. MAXIMUM DISTANCE TO EXITS 11017.2, SPRINKLERED: 250' PROPOSED: +/- 120' MAX</p> |
|---|---|---|--|--|---|---|--|--|---|--|---|---|--|

HOURLY RATINGS MAY BE INCREASED DUE TO OTHER CODE REQUIREMENTS AND WILL BE PROVIDED.



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BUILDING ELEVATIONS

MATERIAL LEGEND

	MATERIAL	MANUF.	COLOR	SIZE
BR-1	FACE BRICK	INTERSTATE	COPPERSTONE	3"D x 2 5/8"H x 9 5/8"
BR-2	FACE BRICK	INTERSTATE	GRAY BLEND	3"D x 2 5/8"H x 9 5/8"
BR-3	FACE BRICK	INTERSTATE	MIDNIGHT BLK	3"D x 2 5/8"H x 9 5/8"
CS-1	CAST STONE			
MT-1	METAL ACCENT		DARK BRONZE	
MT-2	METAL COPING			



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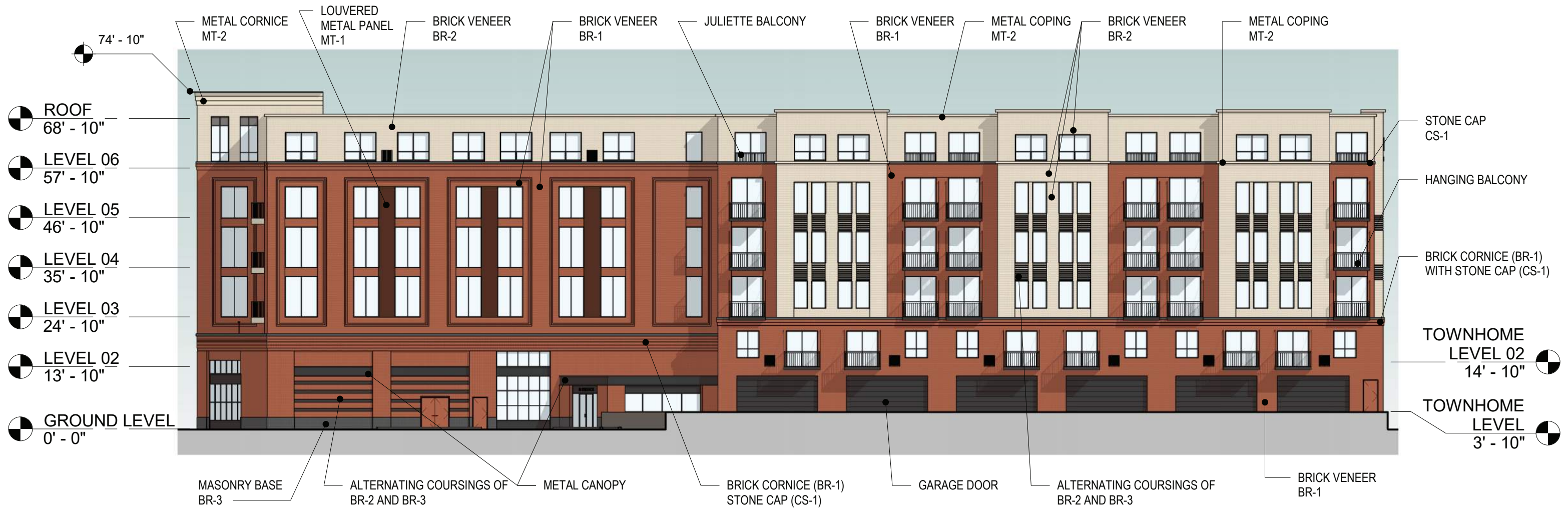
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MATERIAL LEGEND

	MATERIAL	MANUF.	COLOR	SIZE
BR-1	FACE BRICK	INTERSTATE	COPPERSTONE	3"D x 2 5/8"H x 9 5/8"
BR-2	FACE BRICK	INTERSTATE	GRAY BLEND	3"D x 2 5/8"H x 9 5/8"
BR-3	FACE BRICK	INTERSTATE	MIDNIGHT BLK	3"D x 2 5/8"H x 9 5/8"
CS-1	CAST STONE			
MT-1	METAL ACCENT		DARK BRONZE	
MT-2	METAL COPING			



NORTH ELEVATION

SCALE: 3/64" = 1'-0"



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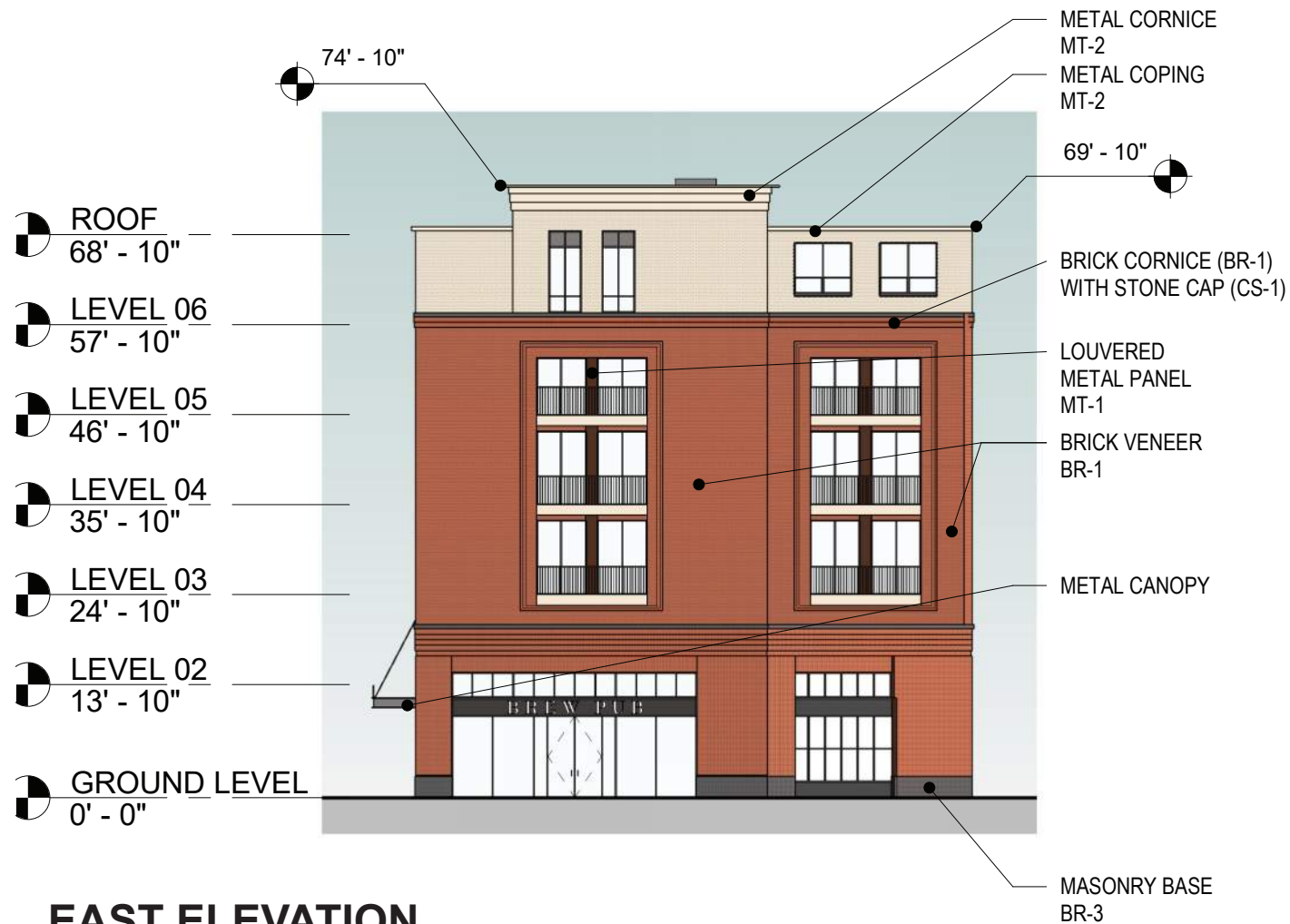
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BUILDING ELEVATIONS

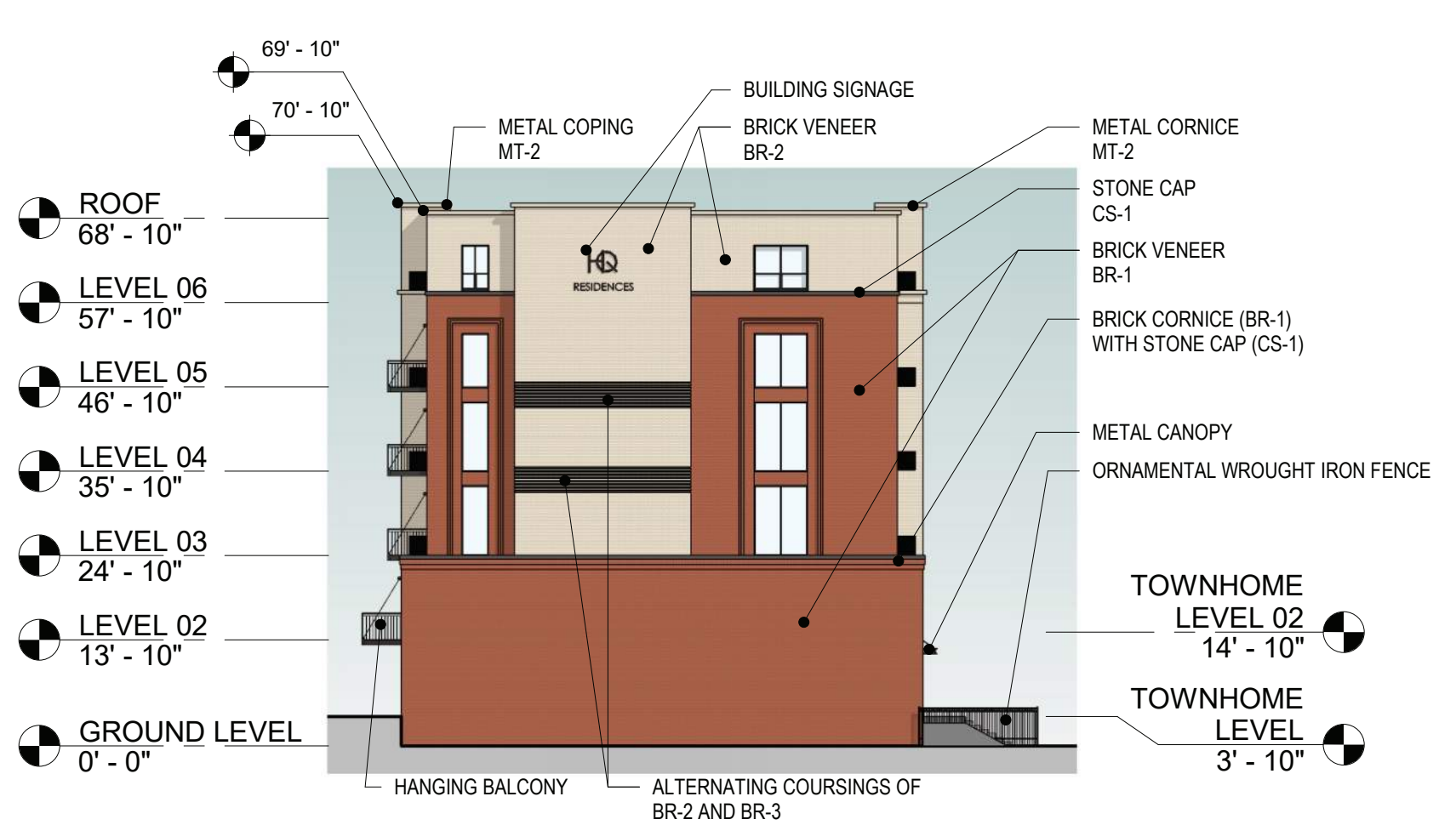
MATERIAL LEGEND

	MATERIAL	MANUF.	COLOR	SIZE
BR-1	FACE BRICK	INTERSTATE	COPPERSTONE	3"D x 2 5/8"H x 9 5/8"
BR-2	FACE BRICK	INTERSTATE	GRAY BLEND	3"D x 2 5/8"H x 9 5/8"
BR-3	FACE BRICK	INTERSTATE	MIDNIGHT BLK	3"D x 2 5/8"H x 9 5/8"
CS-1	CAST STONE			
MT-1	METAL ACCENT		DARK BRONZE	
MT-2	METAL COPING			



EAST ELEVATION

SCALE: 3/64" = 1'-0"



WEST ELEVATION

SCALE: 3/64" = 1'-0"



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PROPOSED SIGNAGE

NOTE: THESE ELEVATIONS COMMUNICATE ARCHITECTURAL INTENT OF SIGNAGE FOR APPROVAL. EXACT TEXT/LOGO WILL VARY BASED ON TENANT



SOUTH ELEVATION - RETAIL

EAST ELEVATION - RETAIL



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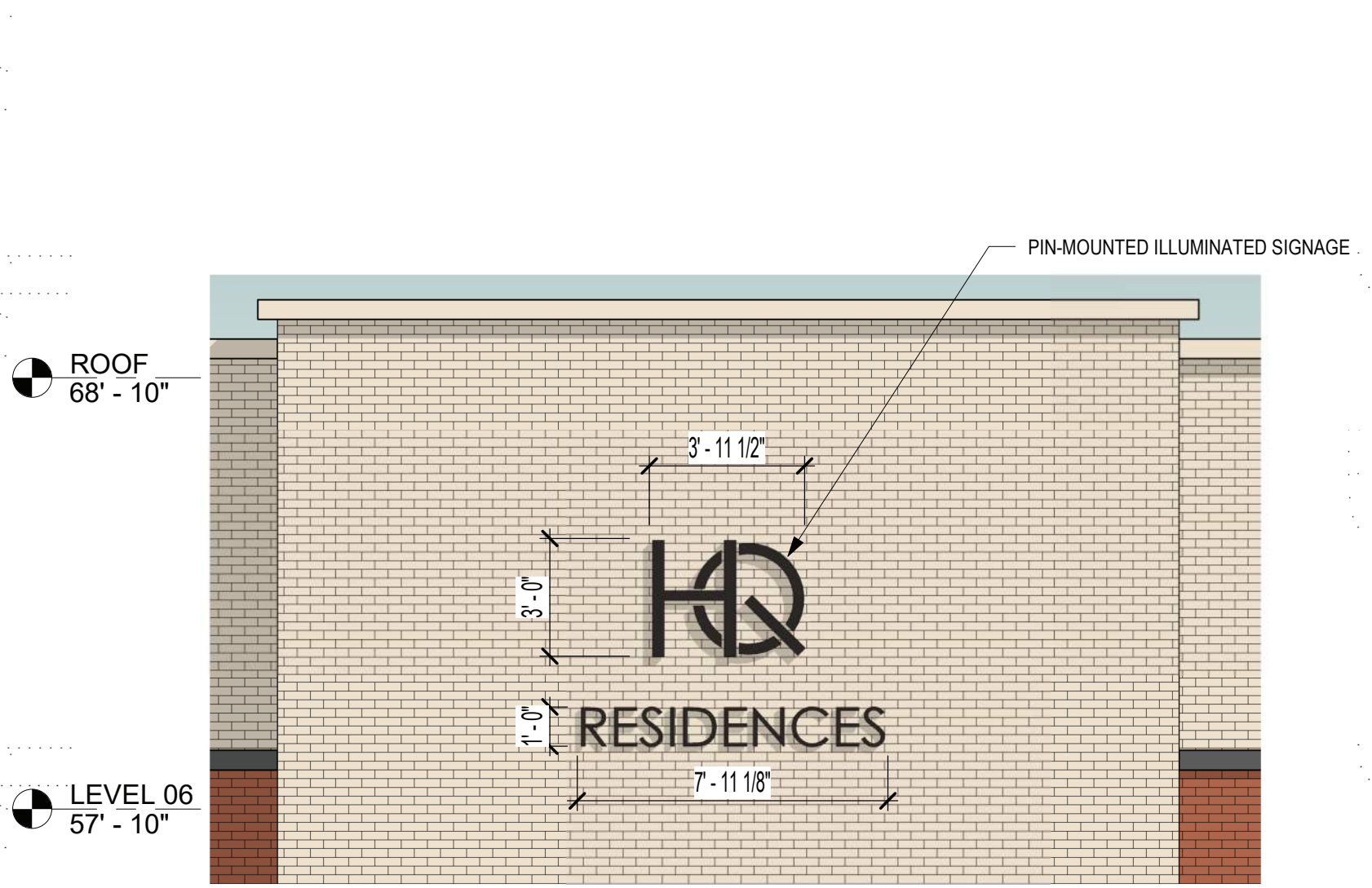
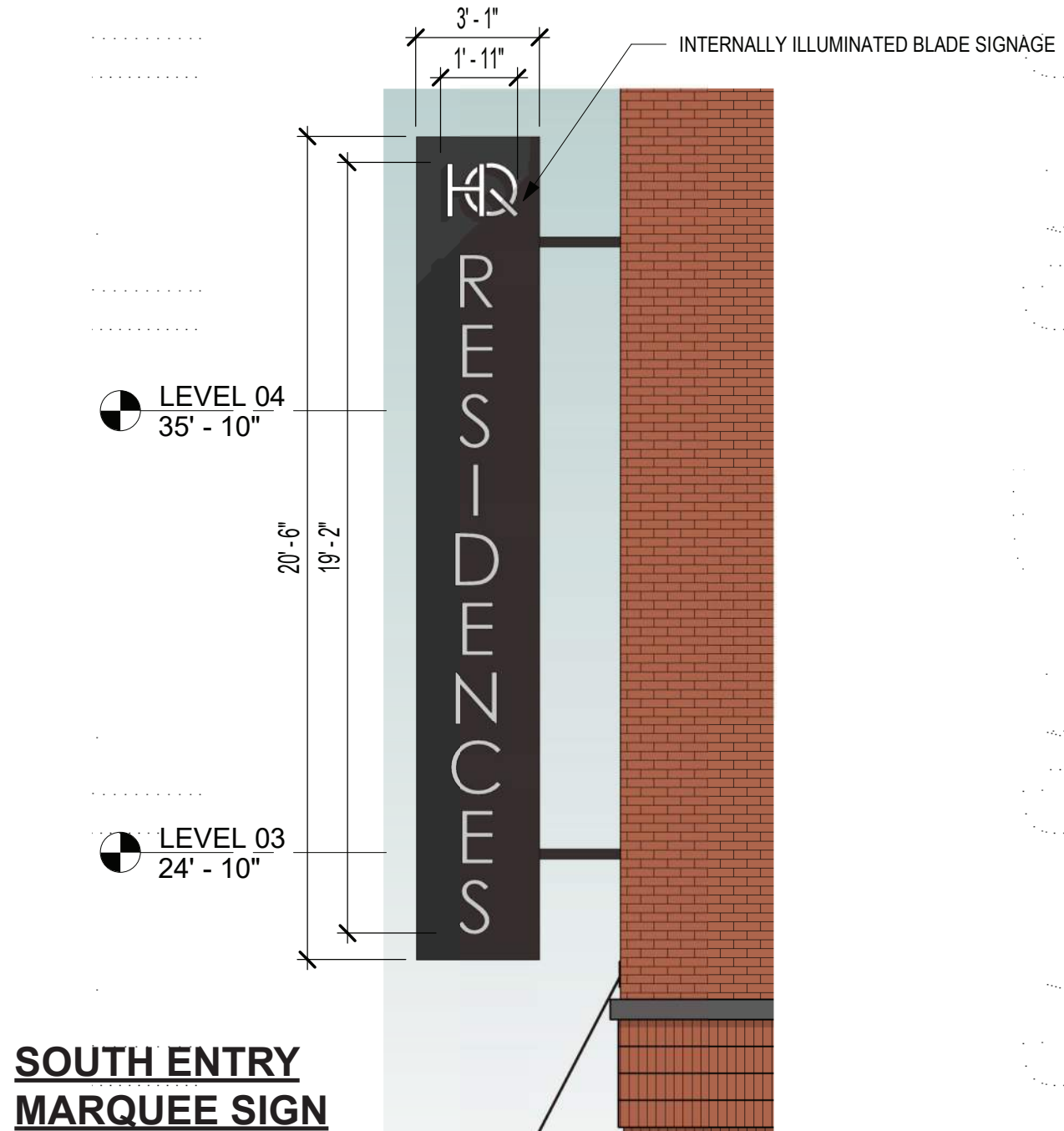


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PROPOSED SIGNAGE



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RTU SIGHT LINE DIAGRAMS



EAST AND WEST PROPERTY LINES



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST



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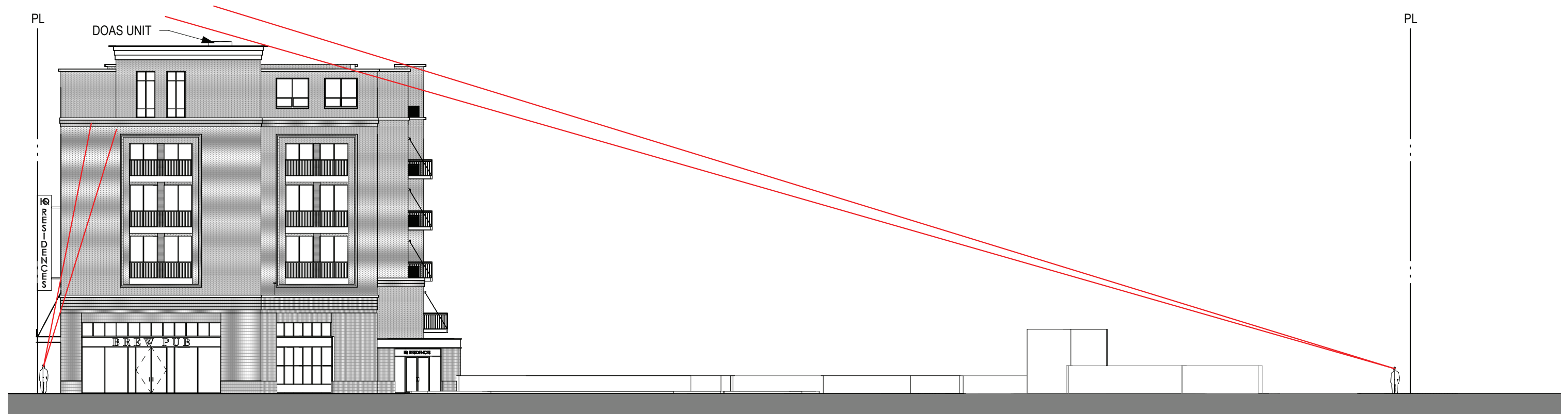
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MOUNT PROSPECT - HQ RESIDENCES

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RTU SIGHT LINE DIAGRAMS



NORTH AND SOUTH PROPERTY LINES



VIEW FROM NORTH



VIEW FROM NORTHEAST

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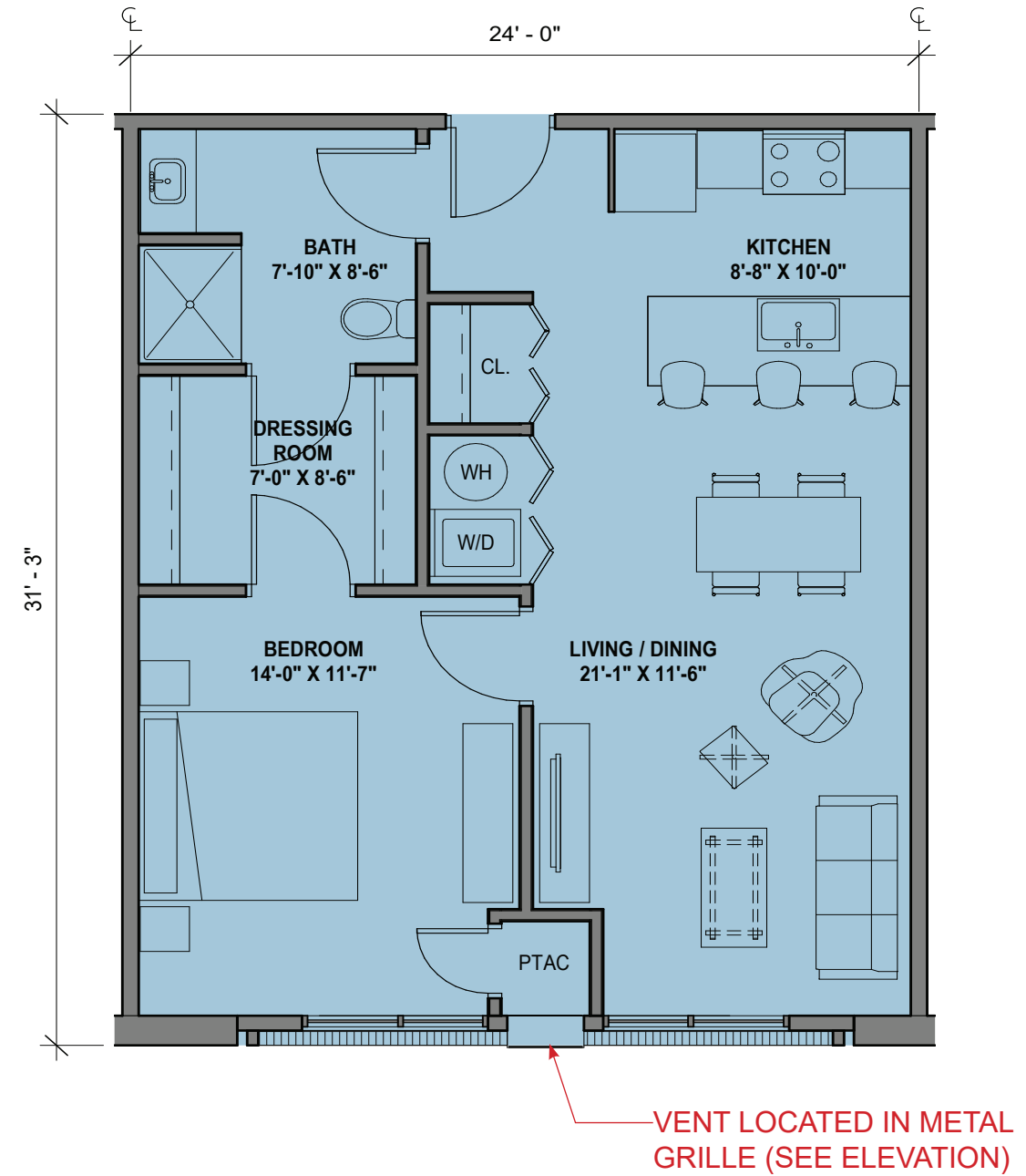
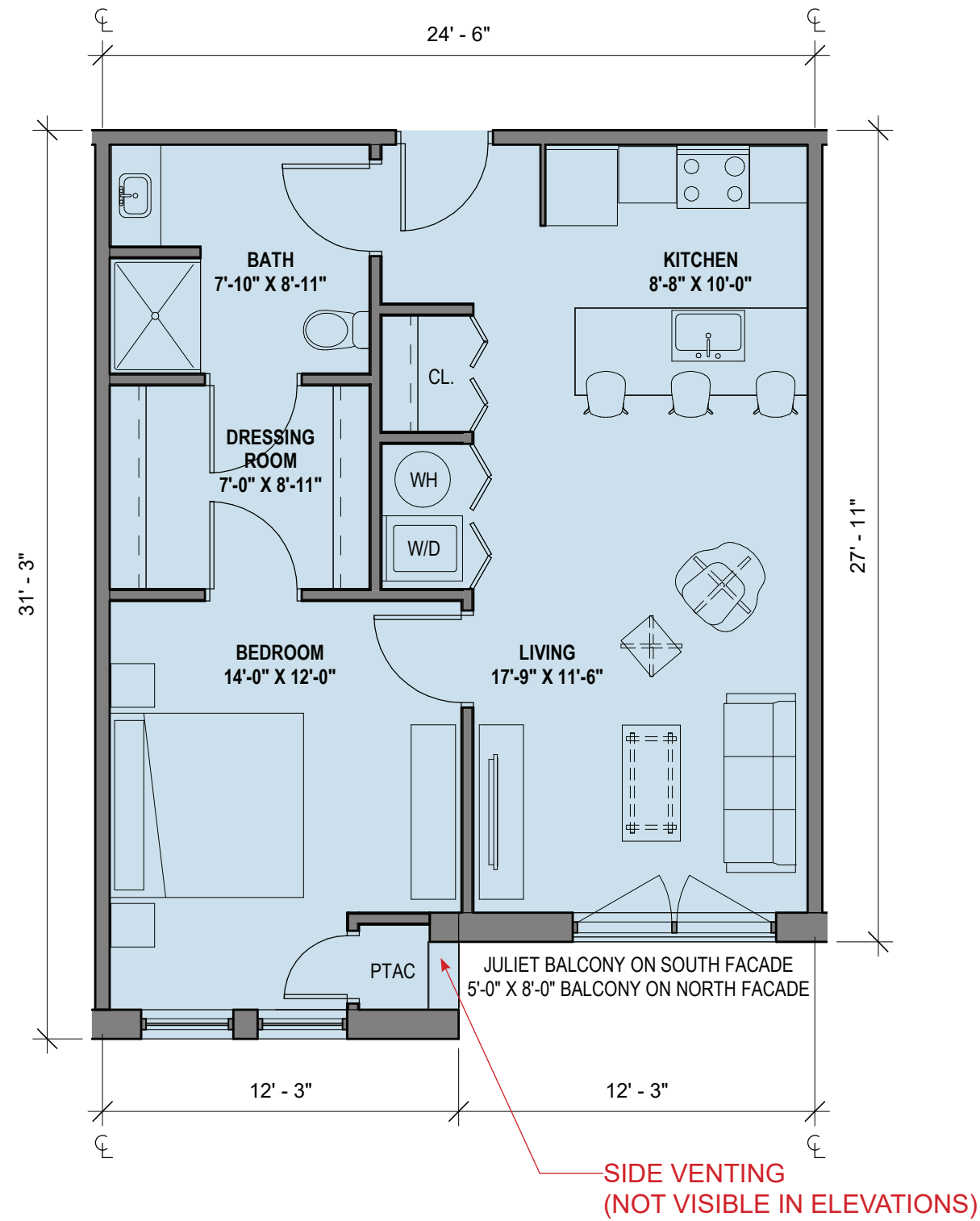


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TYP UNITS / VENTING ILLUSTRATION



VIEW FROM SOUTHEAST



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VIEW FROM SOUTHWEST



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VIEW FROM SOUTHWEST



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VIEW FROM NORTH



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SOUTH ENTRY



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NORTH ENTRY



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MATERIAL PALETTE

MATERIAL LEGEND

	MATERIAL	MANUF.	COLOR	SIZE
BR-1	FACE BRICK	INTERSTATE	COPPERSTONE	3"D x 2 5/8"H x 9 5/8"
BR-2	FACE BRICK	INTERSTATE	GRAY BLEND	3"D x 2 5/8"H x 9 5/8"
BR-3	FACE BRICK	INTERSTATE	MIDNIGHT BLK	3"D x 2 5/8"H x 9 5/8"
CS-1	CAST STONE			
MT-1	METAL ACCENT		DARK BRONZE	
MT-2	METAL COPING			



BR-1 FACE BRICK
INTERSTATE, 'COPPERSTONE'



BR-2 FACE BRICK
INTERSTATE, BLEND ('PEWTER',
'PLATINUM', 'ASH')



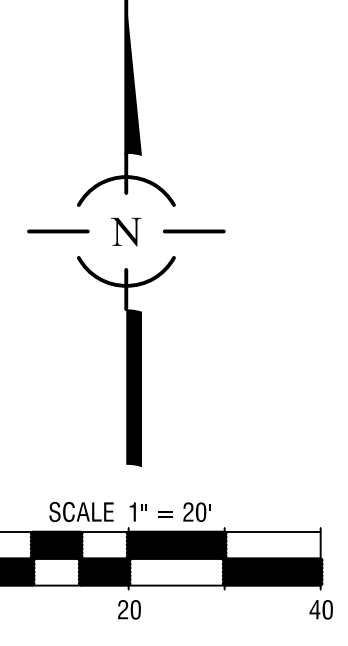
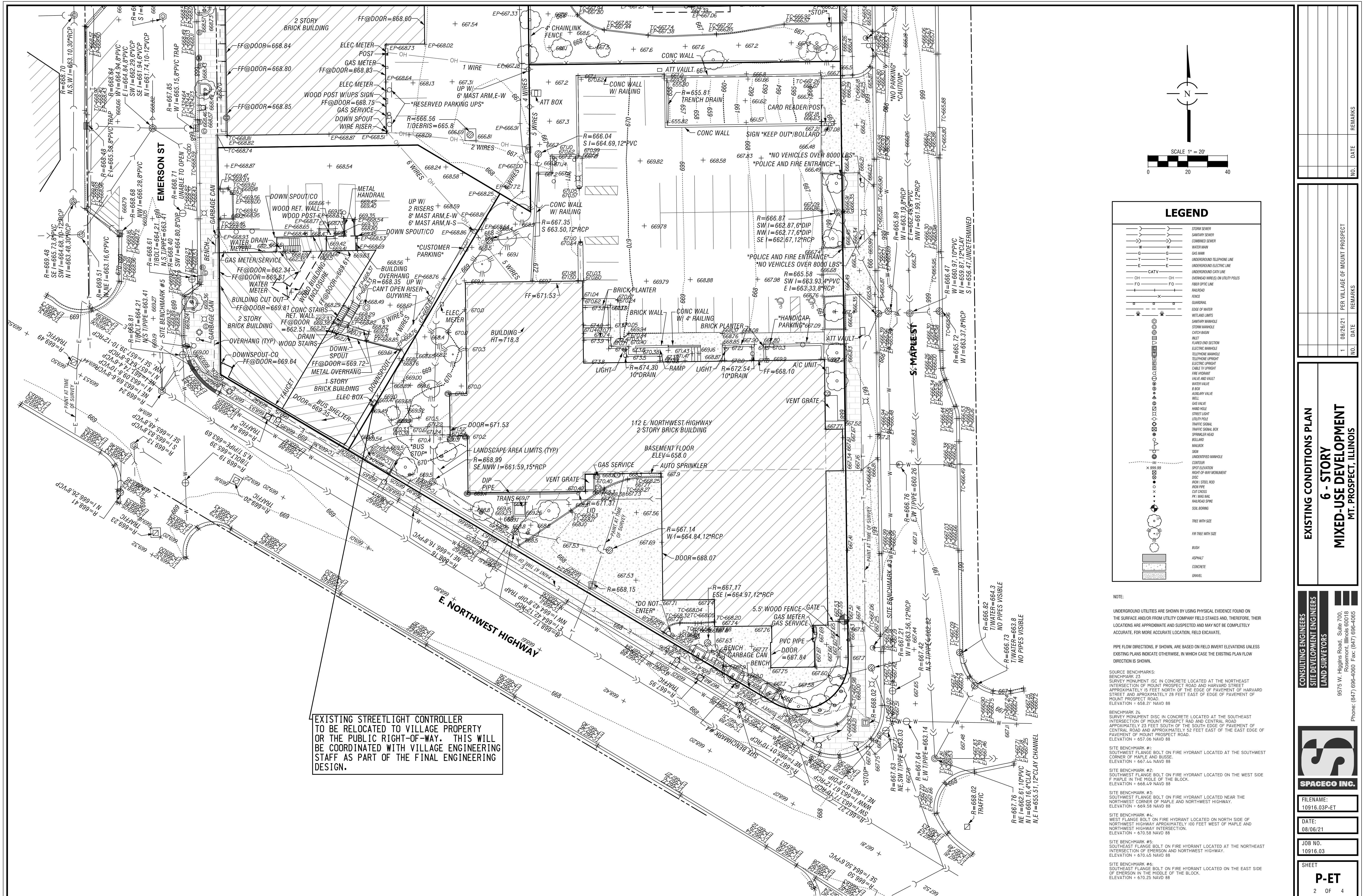
BR-3 FACE BRICK
INTERSTATE,
'MIDNIGHT BLACK'



CS-1 CAST STONE ACCENT



**MT-1 METAL ACCENT /
STOREFRONT**



LEGEND	
	STORM SEWER
	COMBINED SEWER
	WATER MAIN
	GAS MAIN
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND CATV LINE
	OVERHEAD WIRES ON UTILITY POLES
	FIBER OPTIC LINE
	RAILROAD
	FENCE
	GUARDRAIL
	EDGE OF WATER
	WETLAND LIMITS
	SANITARY MANHOLE
	STORM MANHOLE
	CATCH BASIN
	INLET
	FLARE END SECTION
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	TELEPHONE UPRIGHT
	ELECTRIC UPRIGHT
	CABLE TV UPRIGHT
	FIRE HYDRANT
	VALVE AND VAULT
	WATER VALVE
	B BOX
	AUXILIARY VALVE
	WELL
	GAS VALVE
	HAND HOLE
	STREET LIGHT
	UTILITY POLE
	TRAFFIC SIGNAL
	TRAFFIC SIGNAL BOX
	SPRINGER HEAD
	BOLLARD
	MAILBOX
	SIGN
	UNDETECTED MANHOLE
	CONTROL
	SPOT ELEVATION
	ROCK OF MONUMENT
	DISC
	IRON STEEL ROD
	REBAR
	CUT CROSS
	FLAG MANHOLE
	RAILROAD SPIKE
	SOIL BORING
	TREE WITH SIZE
	AIR FREE WITH SIZE
	BUSH
	ASPHALT
	CONCRETE
	GRAVEL

NOTE:
 UNDERGROUND UTILITIES ARE SHOWN BY USING PHYSICAL EVIDENCE FOUND ON THE SURFACE AND/OR FROM UTILITY COMPANY FIELD STAKES AND, THEREFORE, THEIR LOCATIONS ARE APPROXIMATE AND SUSPECTED AND MAY NOT BE COMPLETELY ACCURATE. FOR MORE ACCURATE LOCATION, FIELD EXCAVATE.
 PIPE FLOW DIRECTIONS, IF SHOWN, ARE BASED ON FIELD INVERT ELEVATIONS UNLESS EXISTING PLANS INDICATE OTHERWISE, IN WHICH CASE THE EXISTING PLAN FLOW DIRECTION IS SHOWN.

SOURCE BENCHMARKS:
 BENCHMARK 23
 SURVEY MONUMENT IS IN CONCRETE LOCATED AT THE NORTHEAST INTERSECTION OF MOUNT PROSPECT ROAD AND HARVARD STREET APPROXIMATELY 15 FEET NORTH OF THE EDGE OF PAVEMENT OF HARVARD STREET AND APPROXIMATELY 28 FEET EAST OF EDGE OF PAVEMENT OF MOUNT PROSPECT ROAD.
 ELEVATION = 658.21 NAVD 88
 BENCHMARK 2L
 SURVEY MONUMENT DISC IN CONCRETE LOCATED AT THE SOUTHWEST INTERSECTION OF MOUNT PROSPECT ROAD AND CENTRAL ROAD APPROXIMATELY 23 FEET SOUTH OF THE SOUTH EDGE OF PAVEMENT OF CENTRAL ROAD AND APPROXIMATELY 52 FEET EAST OF THE EAST EDGE OF PAVEMENT OF MOUNT PROSPECT ROAD.
 ELEVATION = 657.06 NAVD 88

SITE BENCHMARK #1:
 SOUTHWEST FLANGE BOLT ON FIRE HYDRANT LOCATED AT THE SOUTHWEST CORNER OF MAPLE AND BLUISE.
 ELEVATION = 667.44 NAVD 88
 SITE BENCHMARK #2:
 SOUTHWEST FLANGE BOLT ON FIRE HYDRANT LOCATED ON THE WEST SIDE OF MAPLE IN THE MIDDLE OF THE BLOCK.
 ELEVATION = 668.49 NAVD 88

SITE BENCHMARK #3:
 SOUTHWEST FLANGE BOLT ON FIRE HYDRANT LOCATED NEAR THE NORTHWEST CORNER OF MAPLE AND NORTHWEST HIGHWAY.
 ELEVATION = 669.58 NAVD 88
 SITE BENCHMARK #4:
 WEST FLANGE BOLT ON FIRE HYDRANT LOCATED ON NORTH SIDE OF NORTHWEST HIGHWAY APPROXIMATELY 100 FEET WEST OF MAPLE AND NORTHWEST HIGHWAY INTERSECTION.
 ELEVATION = 670.58 NAVD 88

SITE BENCHMARK #5:
 SOUTHWEST FLANGE BOLT ON FIRE HYDRANT LOCATED AT THE NORTHEAST INTERSECTION OF EMERSON AND NORTHWEST HIGHWAY.
 ELEVATION = 670.45 NAVD 88
 SITE BENCHMARK #6:
 SOUTHWEST FLANGE BOLT ON FIRE HYDRANT LOCATED ON THE EAST SIDE OF EMERSON IN THE MIDDLE OF THE BLOCK.
 ELEVATION = 670.25 NAVD 88

EXISTING STREETLIGHT CONTROLLER TO BE RELOCATED TO VILLAGE PROPERTY OR THE PUBLIC RIGHT-OF-WAY. THIS WILL BE COORDINATED WITH VILLAGE ENGINEERING STAFF AS PART OF THE FINAL ENGINEERING DESIGN.

NO.	DATE	REMARKS
1	08/26/21	PER VILLAGE OF MOUNT PROSPECT

NO.	DATE	REMARKS
1	08/26/21	PER VILLAGE OF MOUNT PROSPECT

EXISTING CONDITIONS PLAN
6 - STORY
MIXED-USE DEVELOPMENT
 MT. PROSPECT, ILLINOIS

CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 696-4060 Fax: (847) 696-4065

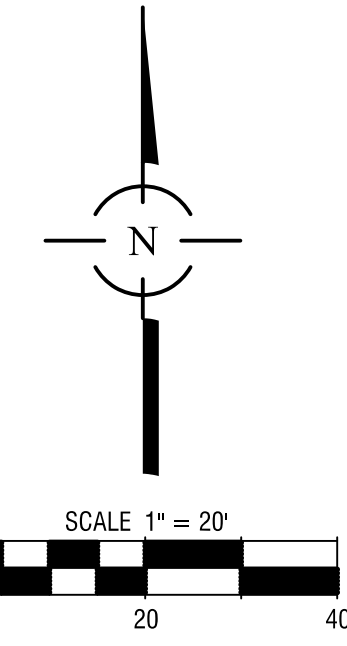


FILENAME:
 10916.03P-ET

DATE:
 08/06/21

JOB NO.
 10916.03

SHEET
P-ET



- LEGEND**
- ASPHALT PAVEMENT
 - STREETSCAPE BRICK PAVEMENT
 - CONCRETE SIDEWALK
 - B6.12 CONCRETE CURB AND GUTTER
 - DEPRESSED CONCRETE CURB AND GUTTER
 - LIMITS OF EXISTING UNDERGROUND PARKING LEVEL TO REMAIN
 - FENCE
 - LIMITS OF EXISTING SITE TO REMAIN. RE-STRIPE PARKING DECK AS SHOWN

PARKING SUMMARY

ON-SITE	STANDARD: 39
	ACCESSIBLE: 4
	LOWER LEVEL: 64
	GARAGE: 11
OFF-SITE	S. MAPLE ST: 6
TOTAL:	124 STALLS

NO.	DATE	REMARKS
1	08/26/21	PER VILLAGE OF MOUNT PROSPECT

NO.	DATE	REMARKS

PRELIMINARY GEOMETRIC PLAN
6 - STORY
MIXED-USE DEVELOPMENT
 MT. PROSPECT, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

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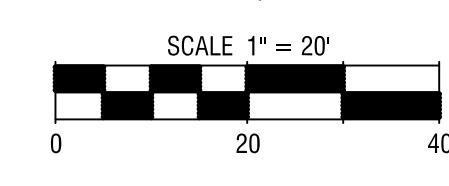
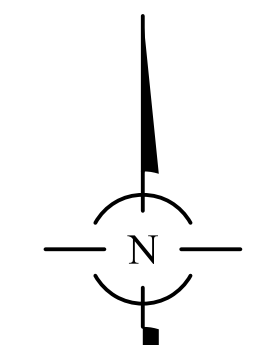
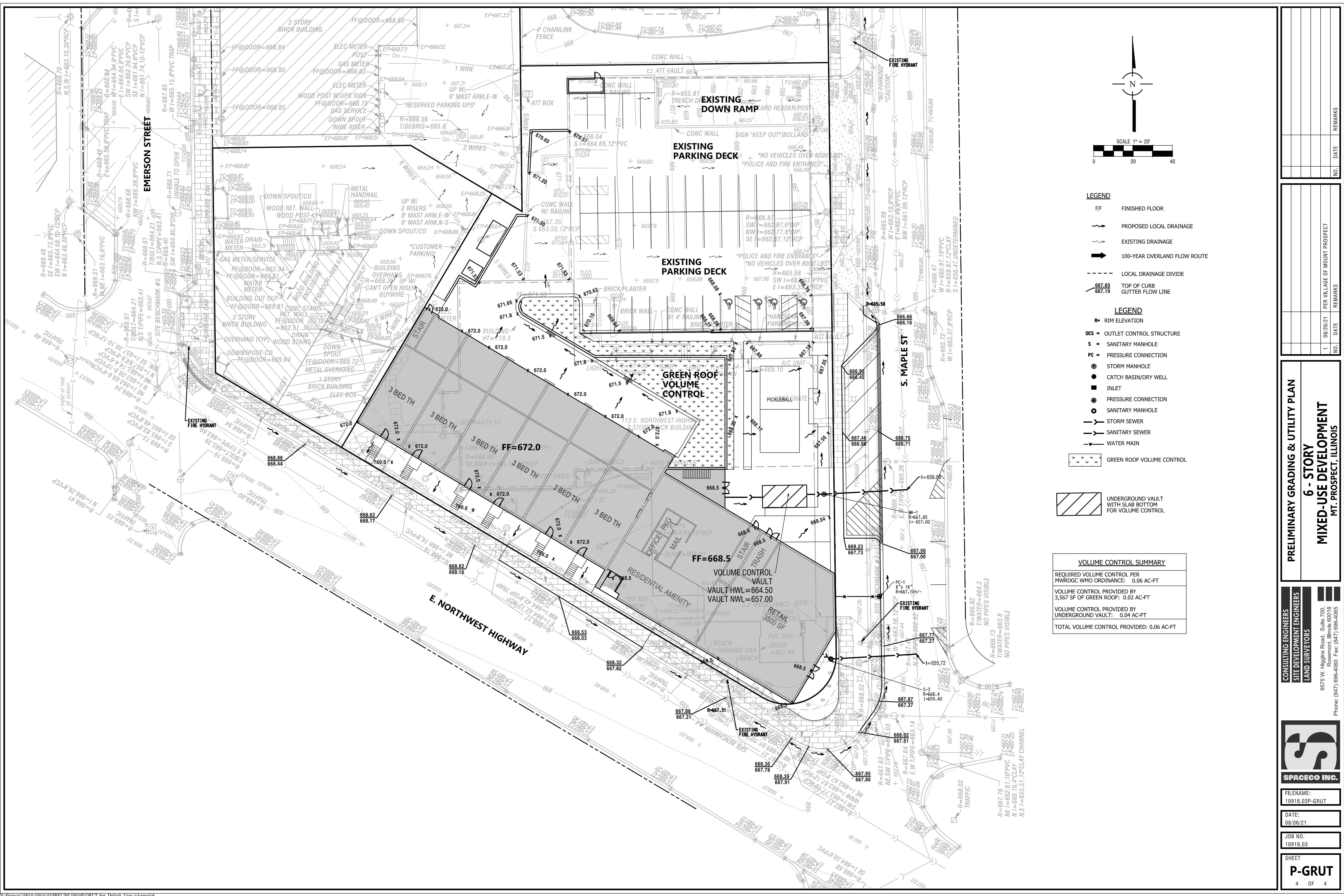


FILENAME:
10916.03P-GM

DATE:
08/06/21

JOB NO.
10916.03

SHEET
P-GM
 3 OF 4



LEGEND

- F/F FINISHED FLOOR
- PROPOSED LOCAL DRAINAGE
- EXISTING DRAINAGE
- 100-YEAR OVERLAND FLOW ROUTE
- LOCAL DRAINAGE DIVIDE
- TOP OF CURB
- GUTTER FLOW LINE

LEGEND

- R= RIM ELEVATION
- OCS = OUTLET CONTROL STRUCTURE
- S = SANITARY MANHOLE
- PC = PRESSURE CONNECTION
- SM = STORM MANHOLE
- CB = CATCH BASIN/DRY WELL
- I = INLET
- PS = PRESSURE CONNECTION
- SM = SANITARY MANHOLE
- SS = STORM SEWER
- SS = SANITARY SEWER
- WM = WATER MAIN
- GREEN ROOF VOLUME CONTROL

UNDERGROUND VAULT WITH SLAB BOTTOM FOR VOLUME CONTROL

VOLUME CONTROL SUMMARY

REQUIRED VOLUME CONTROL PER MWRD/C WMO ORDINANCE:	0.06 AC-FT
VOLUME CONTROL PROVIDED BY 3,567 SF OF GREEN ROOF:	0.02 AC-FT
VOLUME CONTROL PROVIDED BY UNDERGROUND VAULT:	0.04 AC-FT
TOTAL VOLUME CONTROL PROVIDED:	0.06 AC-FT

NO.	DATE	REMARKS

NO.	DATE	REMARKS
1	08/26/21	PER VILLAGE OF MOUNT PROSPECT

PRELIMINARY GRADING & UTILITY PLAN
6 - STORY
MIXED-USE DEVELOPMENT
 MT. PROSPECT, ILLINOIS

CONSULTING ENGINEERS
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LAND SURVEYORS

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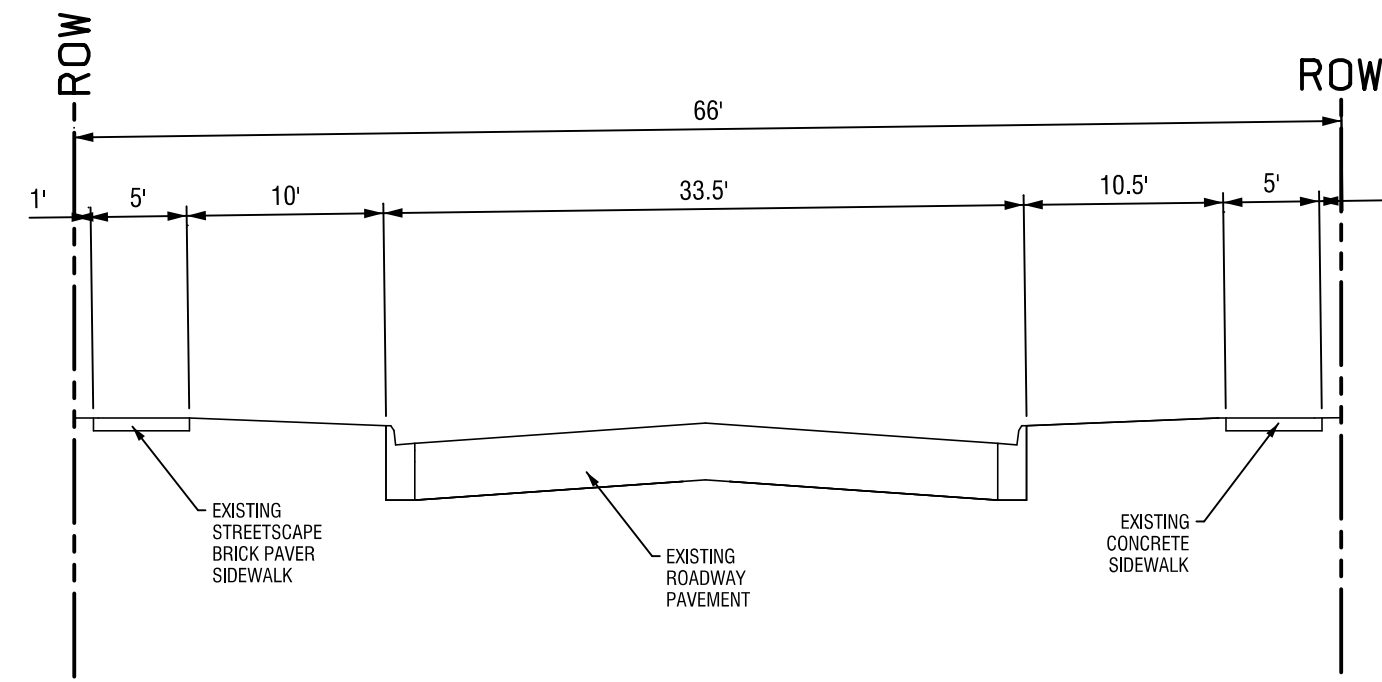
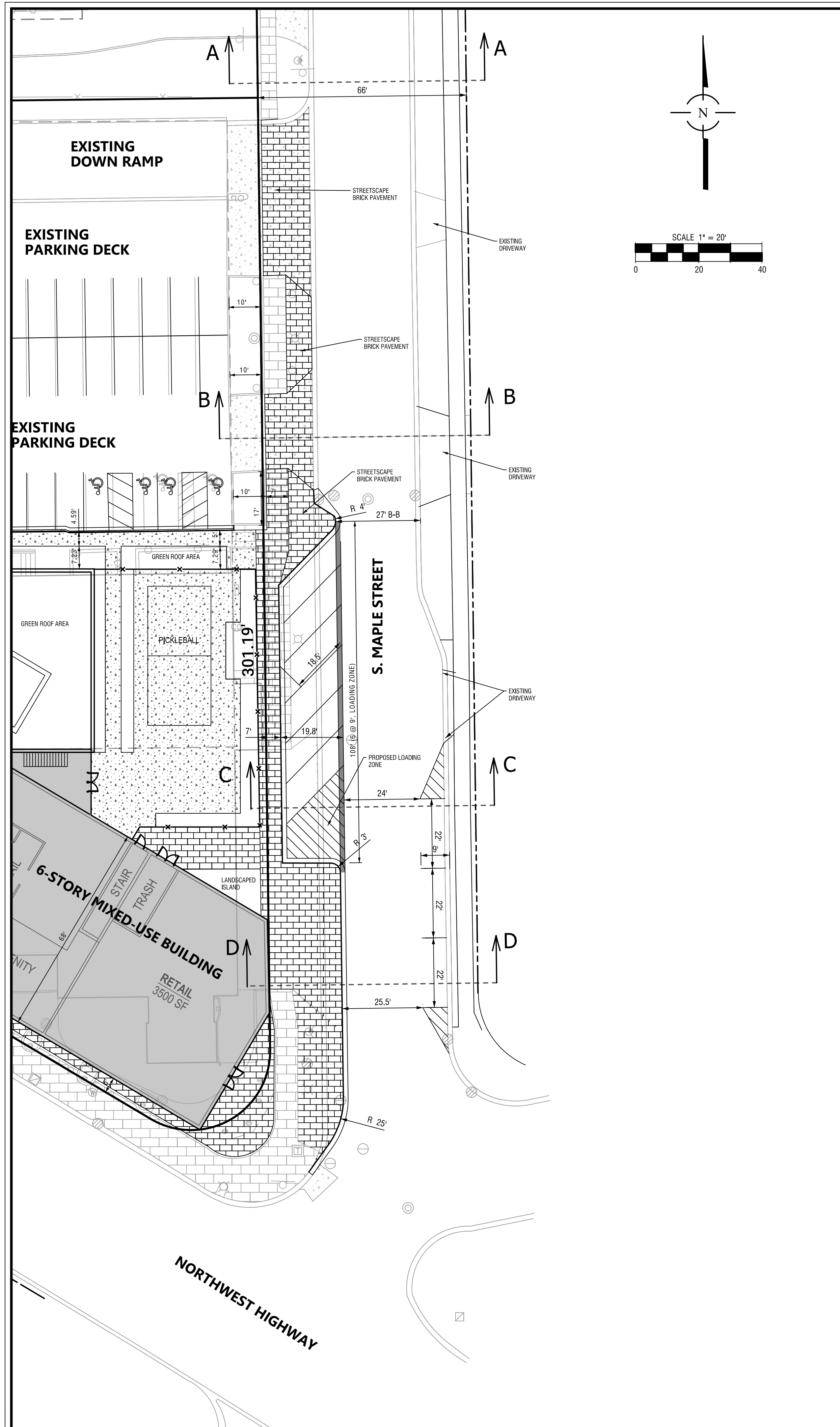
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08/06/21

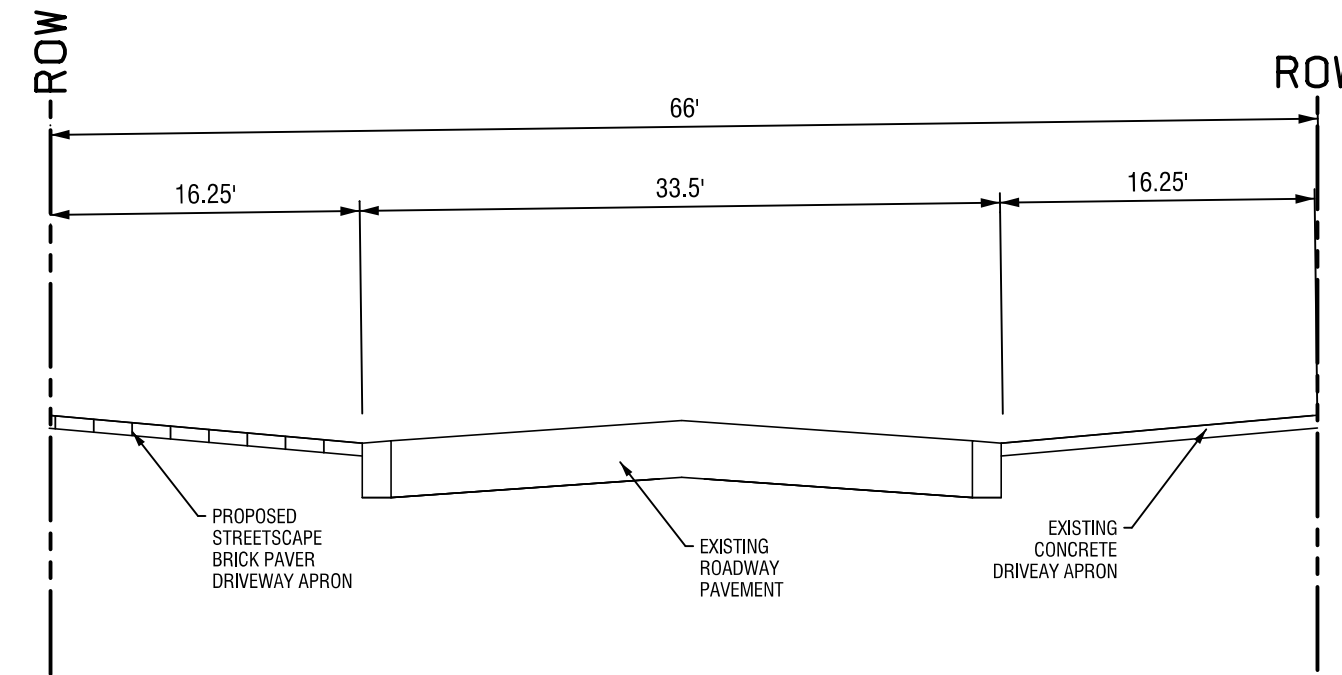
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10916.03

SHEET
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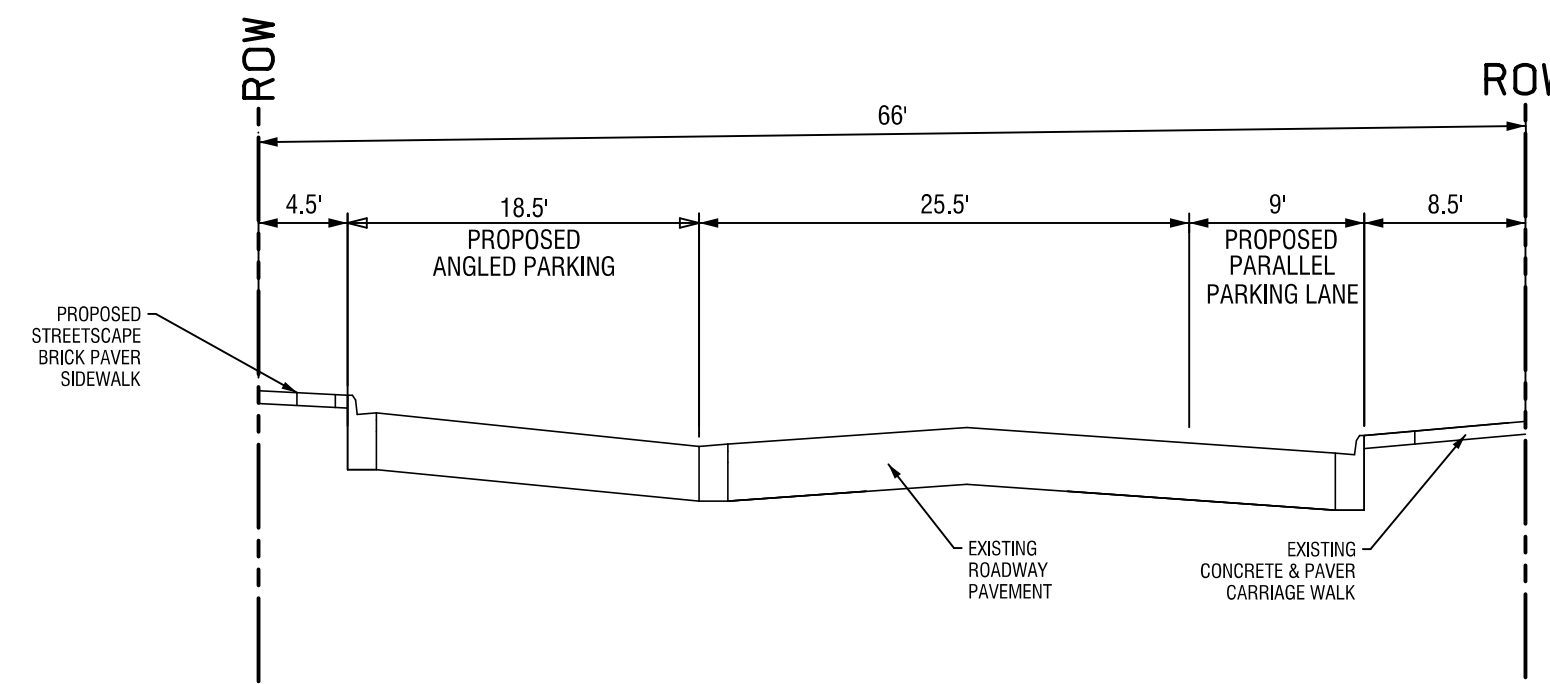
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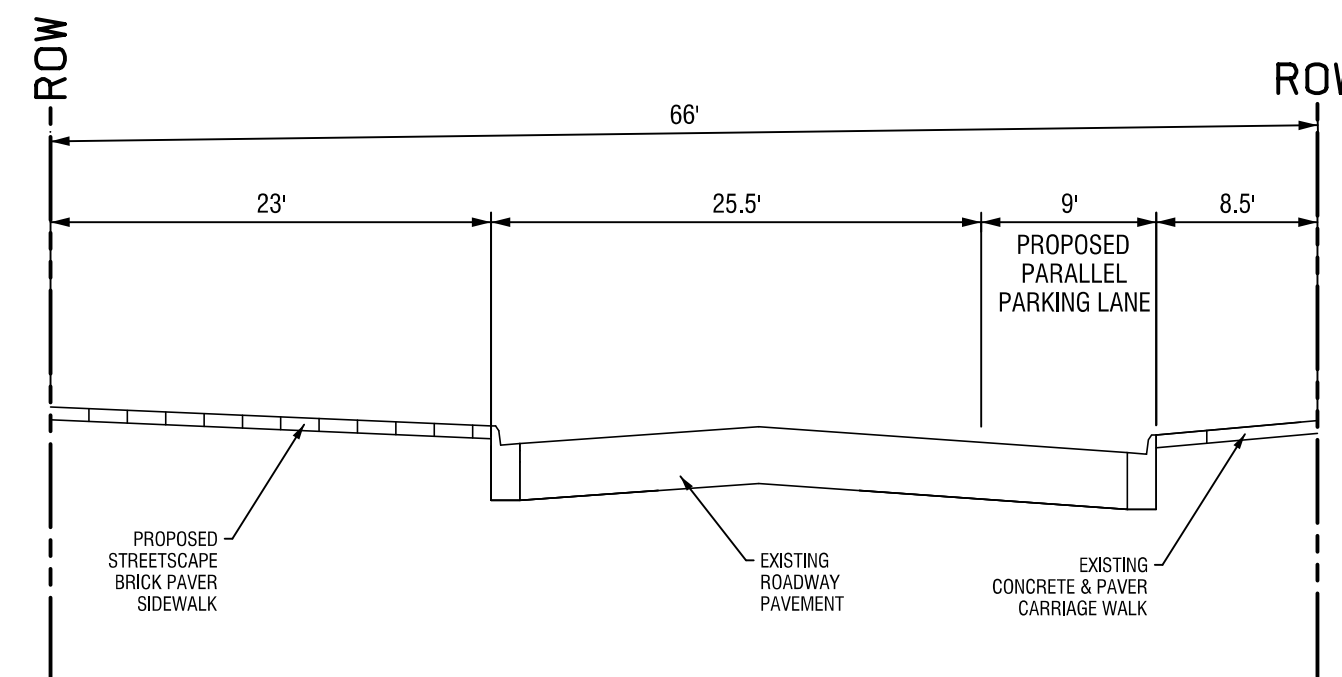
MAPLE STREET SECTION A-A
1"=10'



MAPLE STREET SECTION B-B
1"=10'



MAPLE STREET SECTION C-C
1"=10'



MAPLE STREET SECTION D-D
1"=10'

NO.	DATE	REMARKS

1	08/26/21	PER VILLAGE OF MOUNT PROSPECT
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**PROPOSED MAPLE STREET
GEOMETRY AND SECTIONS
6 - STORY
MIXED-USE DEVELOPMENT
MT. PROSPECT, ILLINOIS**

**CONSULTING ENGINEERS
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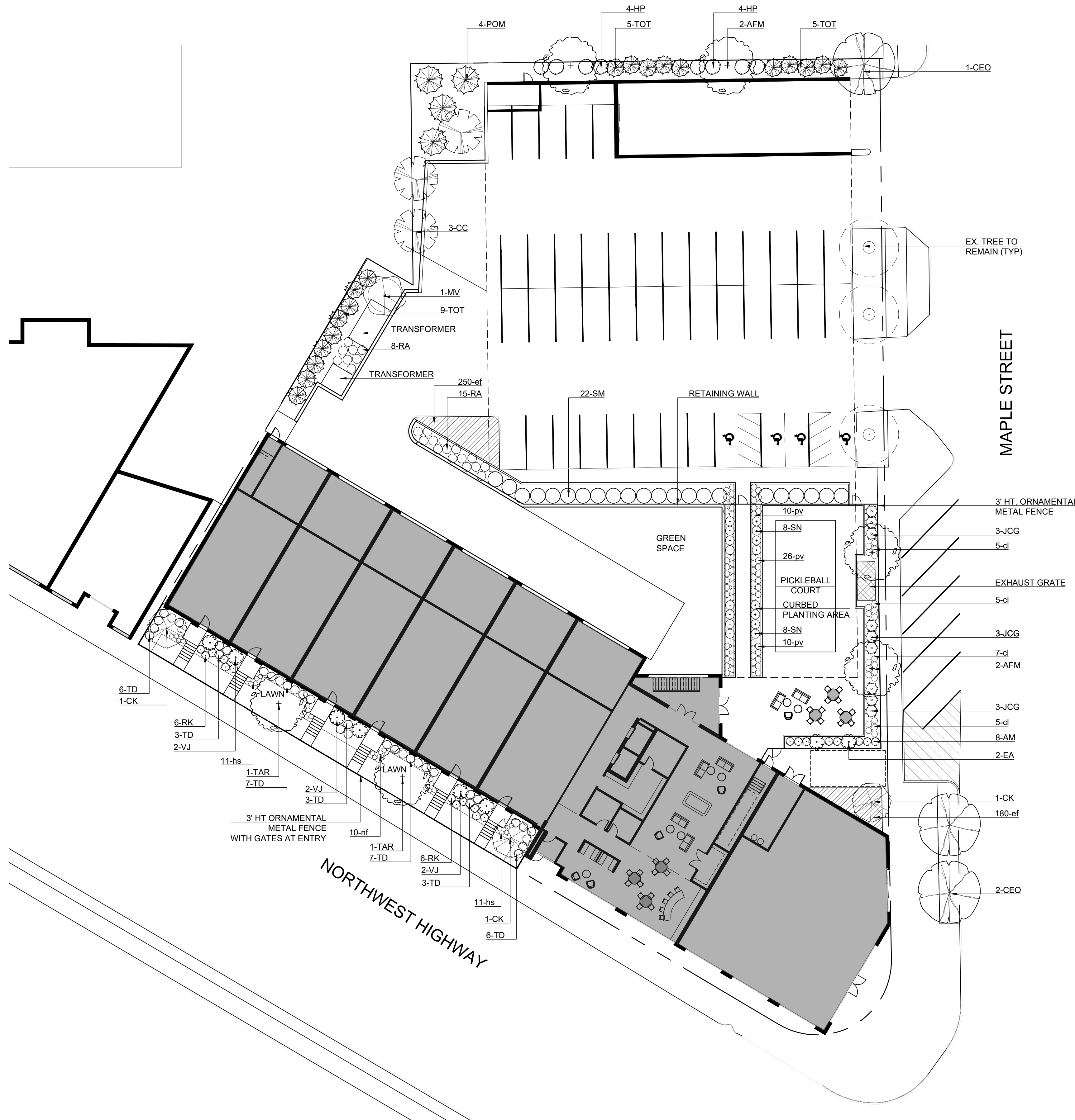
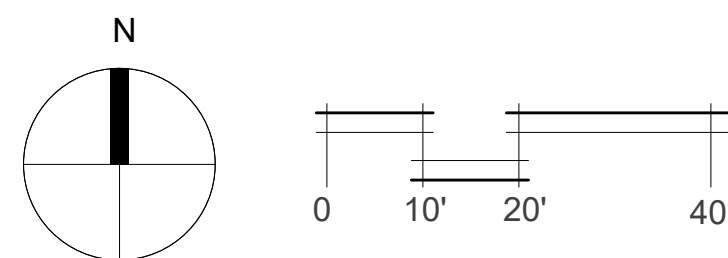
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10916.03P-MAPLEEXH

DATE:
08/06/21

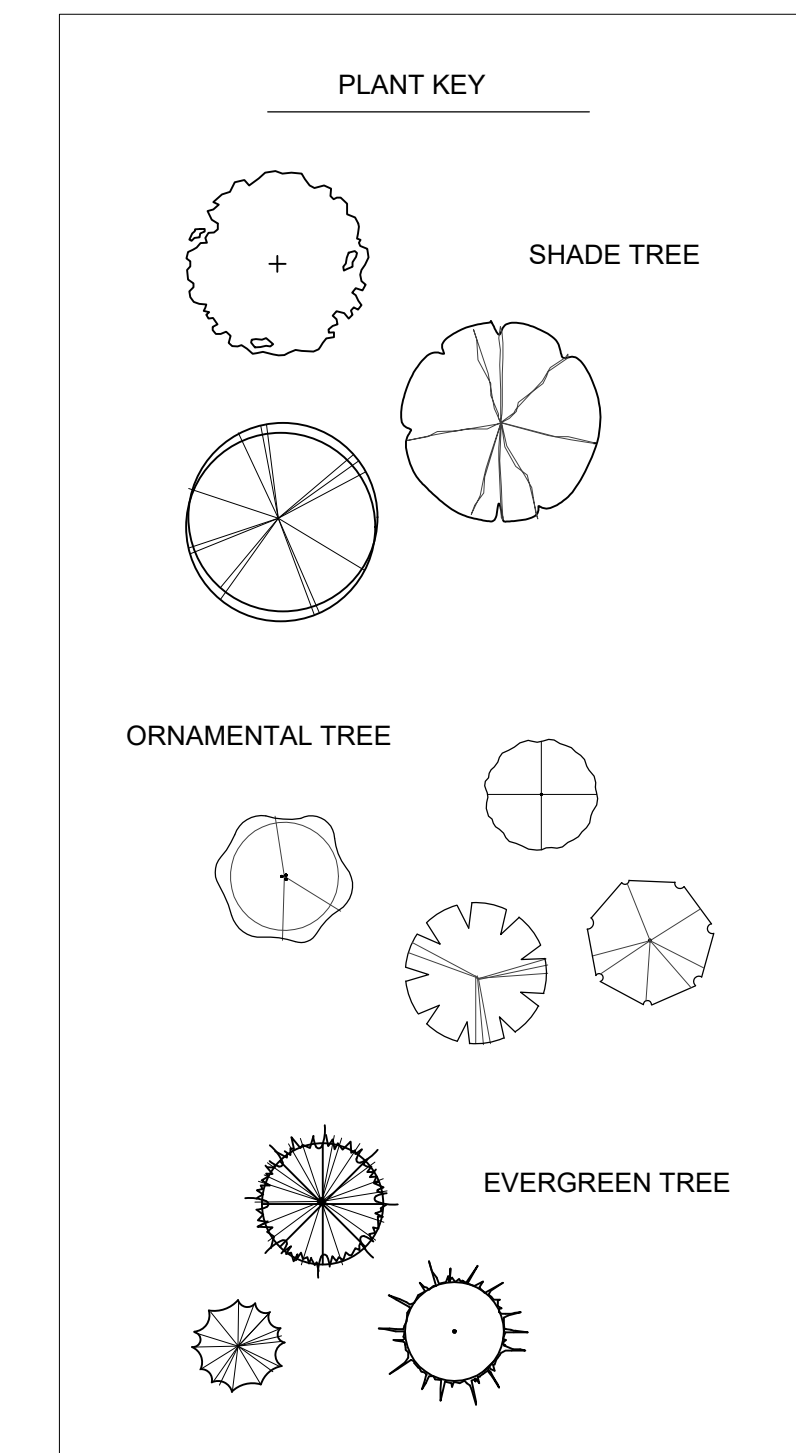
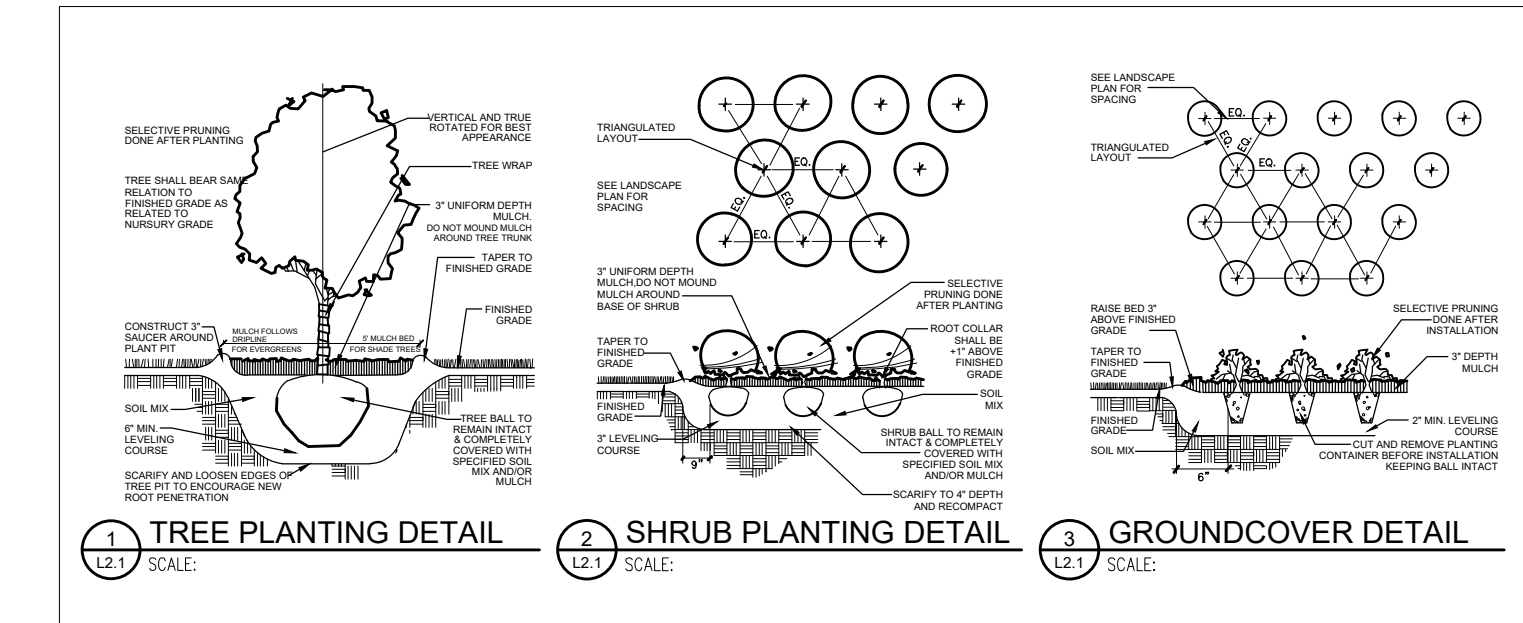
JOB NO.
10916.03

SHEET
EXH
1 OF 1

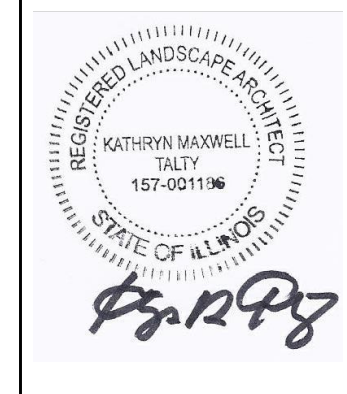
PRELIMINARY LANDSCAPE PLAN
SCALE: 1" = 20'-0"



Master Plant List					
Symbol	Quantity	Botanical Name	Common Name	Size	Notes
Shade Trees					
AFM	4	ACER X FREEMANII 'MARMO'	MARMO FREEMAN MAPLE	3" BB	
CEO	3	CELTUS OCCIDENTALIS	HACKBERRY	3" BB	
TAR	2	TILIA AMERICANA 'REDMOND'	REDMOND AMERICAN LINDEN	3" BB	
Evergreen Trees					
POM	4	PICEA OMORIKA	SERBIAN SPRUCE	8' BB	
TOT	19	THUJA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE	6' BB	
Ornamental Trees					
CK	3	CORNUS KOUSA	KOUSA DOGWOOD	6' BB	
CC	3	CRATAEGUS CRUSGALLI VAR. INERMIS	THORNLESS HAWTHORN	6' BB	
MV	1	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	6' BB	
Evergreen Shrubs					
JCG	9	JUNIPERUS CHINENSIS 'GOLD STAR'	GOLD STAR JUNIPER	24" BB	
TD	35	TAXUS x MEDIA 'DENSIF'	DENSE YEWE	24" BB	
Deciduous Shrubs					
AM	8	ARONIA MELANOCARPA 'IROQUOIS BEAUTY'	IROQUOIS BEAUTY BLACK CHOKEBERRY	24" BB	
EA	2	EUONYMUS ALATA 'COMPACTA'	DWARF BURNING BUSH	36" BB	
HP	8	HYDRANGEA PANICULATA 'TARDIVA'	TARDIVA HYDRANGEA	36" BB	
RA	23	RHUS AROMATICA 'GRO LOW'	GRO LOW SUMAC	5 GAL	
RK	12	ROSA 'KNOCKOUT'	KNOCKOUT SHRUB ROSE	2 GAL	DOUBLE PINK
SN	16	SPIREA NIPPONICA 'SNOW MOUND'	SNOW MOUND SPIREA	24" BB	
SM	22	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	24" BB	
VJ	6	VIBURNUM X JUDDI	JUDD VIBURNUM	36" BB	
Groundcover					
ef	430	EUONYMUS FORTUNEI 'COLORATUS'	PURPLELEAF WINTERCREEPER	3" POTS	
Perennials					
cl	22	CHELONE LYONII 'HOT LIPS'	HOT LIPS TURTLEHEAD	1 GAL	36" PINK
hs	22	HEMEROCALLIS 'STELLA DORO'	SELLA DORO DAYLILY	1 GAL	18" YELLOW
nf	10	NEPETA X FAASSENII	FAASSENS CATMINT	1 GAL	12" LAVENDER
Grasses					
pv	46	PANICUM VIRGATUM 'NORTH WIND'	SWITCH GRASS	3 GAL	4'



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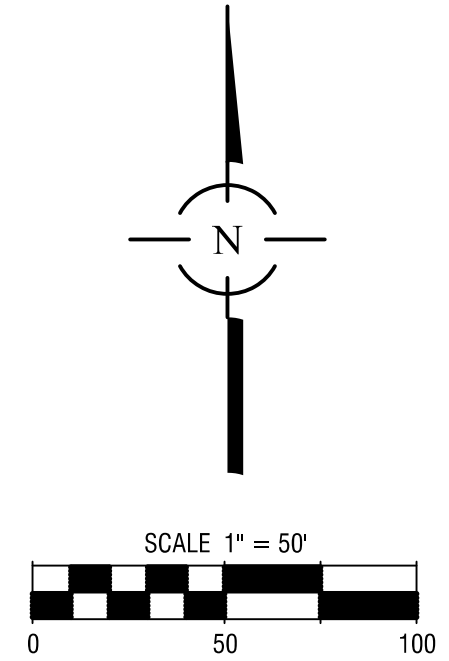
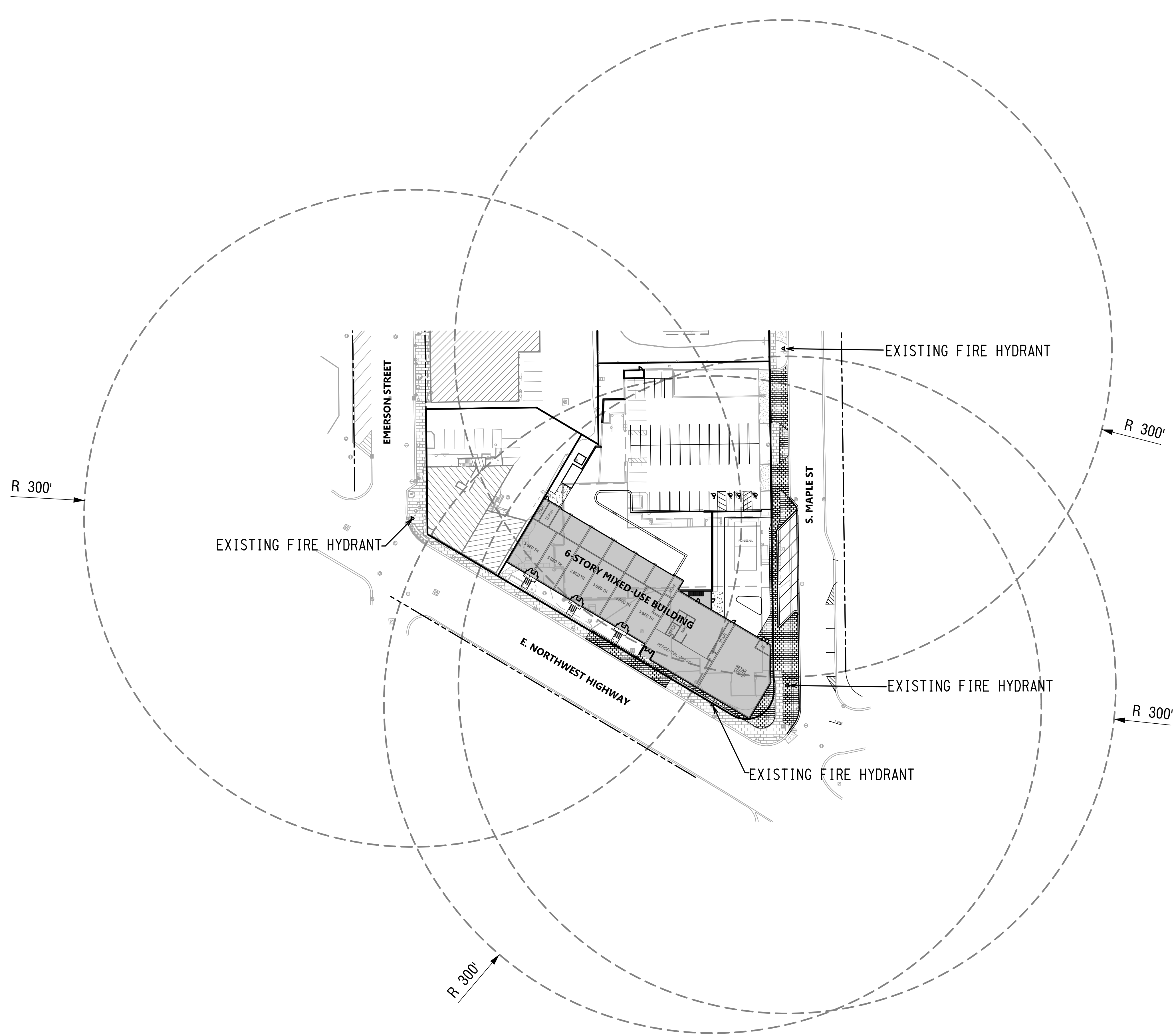


no.	revision	description	initial	date
1	ISSUED FOR REVIEW		KMT	08-06-21
2	PER VILLAGE COMMENTS		KMT	08-25-21

PROPOSED DEVELOPMENT
MAPLE ST AND E NORTHWEST HWY
MOUNT PROSPECT, IL

PRELIMINARY LANDSCAPE PLAN

date	08-03-21	checked	KMT
drawn	DW		
job no.	21270		
sheet no.	L 1.1		



NO.	DATE	REMARKS

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1	08/26/21	PER VILLAGE OF MOUNT PROSPECT

FIRE HYDRANT COVERAGE EXHIBIT
6 - STORY MIXED-USE DEVELOPMENT
MT. PROSPECT, ILLINOIS

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FILENAME:	10916_FireHydrantExh
DATE:	08/06/21
JOB NO.	10916.03
SHEET	FH-EXH
	1 OF 1